

255 EAST HOUSTON ST.
MANHATTAN, N.Y. 10002

OWNER:
255 E HOUSTON MANAGER LLC
185 GREAT NECK ROAD, SUITE 250
GREAT NECK, NY 11021
(516) 487-5690

ARCHITECT:
THE STEPHEN B. JACOBS GROUP, P.C.
381 PARK AVENUE SOUTH
NEW YORK, NY 10016
(212) 421-3712

STRUCTURAL ENGINEER:
MCNAMARA • SALVIA
STRUCTURAL ENGINEERS
62 WEST 45TH STREET, 11TH FLOOR
NEW YORK, NY 10036
(212) 246-9800

MEP & FP ENGINEER:
SIDERIS KEFALAS
ENGINEERS PC
217-22 NORTHERN BOULEVARD, SUITE 1
BAYSIDE, NY 11361
(718) 224-9091




SCHEDULE OF DRAWINGS :

DOB # : 1 2 1 1 8 9 7 1 1

H.P.D. FILING SET
INITIAL FILING - JUL7 12, 2016
REVISION 1 - OCTOBER 14, 2016

		DO NOT REVISION 1 - 2016.10.14 H.P.D. FILING SET - 2016.07.12									
ARCHITECTURAL											
T-000.00	TITLE SHEET										
Z-100.00	ZONING ANALYSIS, SITE PLAN, VICINITY & FEMA MAPS										
Z-110.00	I.H. CHARTS, ZONING BLDG. SECT. & AXON. DIAG.										
Z-111.00	ZFA, LOT COVERAGE & DENSITY DIAGRAMS BY ZONING DISTRICT										
Z-112.00	MECHANICAL DEDUCTIONS										
A-010.00	SITE PLAN										
A-011.00	INITIAL SURVEY										
A-020.00	2014 NEW YORK CITY BUILDING ANALYSIS										
A-030.00	ACCESSIBILITY REQUIRMENTS										
A-040.00	UFAS MOBILITY & A/V IMPAIRED ADAPTABLE UNIT PLANS										
A-050.00	INCLUSIONARY HOUSING AFFORDABLE UNIT PLANS										
A-100.00	CELLAR FLOOR PLAN										
A-101.00	1ST FLOOR PLAN										
A-102.00	2ND FLOOR PLAN										
A-103.00	3RD - 7TH FLOOR PLAN										
A-104.00	8TH FLOOR PLAN										
A-105.00	9TH FLOOR PLAN										
A-106.00	10TH FLOOR PLAN										
A-107.00	11TH FLOOR PLAN										
A-108.00	12TH - 13TH FLOOR PLAN										
A-109.00	14TH FLOOR AMENITY & ROOFTOP TERRACE PLAN										
A-110.00	BULKHEAD & ROOF PLANS										
A-200.00	BUILDING ELEVATIONS - HOUSTON WING										
A-201.00	BUILDING ELEVATIONS - SUFFOLK WING										
A-540.00	FINISH, APPLIANCE & FIXTURE SCHEDULES										
A-610.00	KITCHEN TYPES										
A-611.00	KITCHEN TYPES										
A-612.00	KITCHEN TYPES										
A-613.00	KITCHEN TYPES										
A-620.00	BATHROOM TYPES										
A-621.00	BATHROOM TYPES										

Drawing Title:	
TITLE SHEET	
SEAL & SIGNATURE: 	DATE: 08/14/2015 PROJECT: 1446 DRAWING SCALE: AS NOTED DRAWING NO.: T-000.00 CAD REF: 62_1446 - 1-201 - REE_195.dwg PAGE: 01 OF 40

ZONING ANALYSIS:

255 EAST HOUSTON STREET / 171 SUFFOLK STREET
MANHATTAN, N.Y. 10002

BLOCK:	355
LOTS:	54
ZONING DISTRICTS:	R7A -- SOUTHERN 26' OF LOT 54 R8A -- THE REMAINDER OF LOT 54
INCLUSIONARY HOUSING DESIGNATION:	YES -- MANHATTAN 3 INCLUSIONARY HOUSING DESIGNATED AREA [BTWN. CHRISTIE ST. & PITT ST. & WITHIN100' OF EAST HOUSTON STREET.]
ZONING MAP:	12C
HISTORIC DISTRICT:	NO

LANDMARK BUILDING:	NO
COMMUNITY DISTRICT:	MANHATTAN 5
COMMUNITY BOARD:	MANHATTAN COMMUNITY BOARD 5
LITTLE "E" DESIGNATION:	LOT 54: E-216 (11/19/2008) - AIR QUALITY, WINDOW WALL ATTENUATION & ALTERNATE VENTILATION ONE LPC DESIGNATED BLDG. 6+ 80' 0" from LOT 59, S.W. CORNER, L.P. - LP-01440 "ANSHE SLOINIM SYNAGOUE" 172 NORFOLK STREET SITE > 200FT FROM SUBWAY - NOT REQ'D
LANDMARK DESIGNATED BUILDINGS WITHIN 90' 0" RADIUS OF SITE, SUBJECT TO TPN 10/88:	
M.T.A. / AMTRAK APPROVAL:	T . B . D .
OTHER PROGRAM:	
LOT AREA:	LOT 54: 8,240 S.F. LOT 54: 2,603 S.F. R8A = 8,240 S.F. R7A = 2,603 S.F. (PER SURVEY DATED 12/05/2014)
TOTAL LOT AREA	8,240 + 2,603 = 10,843 S.F.

SECTION	TITLE OF SECTION	ZONING REGULATION - SUMMARY	ALLOWED AND / OR REQUIRED	PROVIDED
USE GROUPS	ZR: 32-00	USE GROUPS	PERMITTED USE GROUPS: 1, 2, 3 & 4	SINGLE & MULTI-FAMILY RESIDENTIAL USES (BUNGALOW / SEMI-DETACHED CONDOMINIUM / RENTAL), TRANSIENT RESIDENTIAL (HOTEL), AND COMMUNITY FACILITIES (SPORTS CLUB / SWIMMING POOL).
	ZR: 77-12	SPECIAL USE GROUP PROVISIONS FOR ZONING LOTS DIVIDED BY DISTRICT BOUNDARIES	THE APPLICABLE USE REGULATIONS, AS SET FORTH IN ARTICLE II, CHAPTER 2, FOR EACH DISTRICT SHALL APPLY TO THE PORTION OF THE ZONING LOT LOCATED WITHIN SUCH DISTRICT.	COMPLIES, SEE ZONING CALCS ON Z-111, OK
F.A.R.	ZR: 23-153	RESIDENTIAL F.A.R. FOR QUALITY HOUSING BUILDINGS	R7A: MAX. RESIDENTIAL F.A.R. = 4.00	[2,603 x 4.00] = 10,412 Z.F.A. PROVIDED = 10,308 S.F., OK
	ZR: 23-154	FLOOR AREA COMPENSATION IN MANDATORY INCLUSIONARY HOUSING DESIGNATED AREAS	R8A: MAX. RESIDENTIAL F.A.R. MANDATORY INCLUSIONARY HOUSING = 7.20	[8,240 x 7.20] = 59,328 Z.F.A. PROVIDED = 54,738 S.F., OK
			MAX. ALLOWABLE RESIDENTIAL F.A.R.	10,412 + 59,328 = 69,740 Z.F.A. PROVIDED = 65,043 S.F., OK
	ZR: 24-11	COMMUNITY FACILITY F.A.R. IN RESIDENTIAL DISTRICTS	R7A: MAX. COMMUNITY FACILITY F.A.R. = 4.00 R8A: MAX. COMMUNITY FACILITY F.A.R. = 6.50	[2,603 x 4.00] = 10,412 S.F. [8,240 x 6.50] = 53,560 S.F.
			MAX. ALLOWABLE COMMUNITY FACILITY F.A.R.	10,412 + 53,560 = 63,972 S.F.
		TOTAL ALLOWABLE F.A.R.	69,740 S.F.	PROVIDED = 69,553 S.F., OK
LOT COVERAGE	ZR: 23-153	RESIDENTIAL LOT COVERAGE FOR QUALITY HOUSING BUILDINGS	R7A: MAX. INTERIOR LOT COVERAGE = 65% R8A: MAX. INTERIOR LOT COVERAGE = 70% R8A: MAX. CORNER LOT COVERAGE = 80%	[2,603 x 0.65] = 1,692 S.F. [240 x 0.70] = 168 S.F. [8,000 x 0.80] = 6,400 S.F.
				PROVIDED = 1,653 S.F., OK PROVIDED = 58 S.F., OK PROVIDED = 5,868 S.F., OK
ZONING LOTS DIVIDED BY DISTRICT BOUNDARIES	ZR: 77-02	SPECIAL PROVISIONS FOR ZONING LOTS DIVIDED BY DISTRICT BOUNDARIES	WHERE A ZONING LOT THAT DID NOT EXIST ON DECEMBER 15, 1961, IS DIVIDED BY ONE OR MORE ZONING DISTRICT BOUNDARIES, EACH PORTION OF THE ZONING LOT SHALL BE REGULATED BY ALL THE PROVISIONS APPLICABLE TO THE DISTRICT IN WHICH IT IS LOCATED.	
BULK REGS.	ZR: 23-01	RESIDENTIAL BULK REGS.	FOR BUILDING OR OTHER STRUCTURE, OTHER THAN A COMMUNITY FACILITY BUILDING, OR COMMUNITY FACILITY PORTION OF A BUILDING USED FOR BOTH RESIDENTIAL AND COMMUNITY FACILITY USES. BULK REGS. OF ART. II, CH. 4 APPLY TO THE COMMUNITY FACILITY PORTION OF A BUILDING USED FOR BOTH RESIDENTIAL AND COMMUNITY FACILITY USES.	
	ZR: 24-01	COMMUNITY FACILITY BULK REGS.	FOR THE COMMUNITY FACILITY PORTION OF A BUILDING LOCATED IN A RESIDENCE DISTRICT WITH BOTH RESIDENTIAL AND COMMUNITY FACILITY USES. BULK REGS. OF ART. II, CH. 3 APPLY TO THE RESIDENTIAL PORTION OF A BUILDING USED FOR BOTH RESIDENTIAL AND COMMUNITY FACILITY USES.	
DENSITY	ZR: 23-22	MAXIMUM NUMBER OF DWELLING UNITS	MAX. NO. OF DWELLING UNITS (D.U.) EQUALS THE MAX. ALLOWABLE RESIDENTIAL FLOOR AREA DIVIDED BY THE APPLICABLE DENSITY FACTOR	R7A FACTOR = 680 R8A FACTOR = 980
	ZR: 23-24	BUILDINGS USED FOR PARTLY FOR NON-RESIDENTIAL USES	R7A: MAX. NUMBER OF DWELLING UNITS = [MAX. ALLOWABLE RES. FLR. AREA - NON-RESIDENTIAL FLR. AREA] / 680 R8A: MAX. NUMBER OF DWELLING UNITS = [MAX. ALLOWABLE RES. FLR. AREA - NON-RESIDENTIAL FLR. AREA] / 720	R7A: (2.36 x 6) + 0.523 = 14,683 UNITS, OK R8A: (7.84 x 6) - 1 + 6.477 + 6 (4 x 4) = 73,317 UNITS, OK TOTAL NO. OF D.U. = 14,683 + 73,317 = 88 UNITS
	ZR: 24-20	APPLICABILITY OF DENSITY REGULATIONS TO ZONING LOTS CONTAINING BOTH RESIDENTIAL & COMMUNITY FACILITY USES	MAX. NO. OF DWELLING UNITS ON A ZONING LOT CONTAINING BOTH COMMUNITY FACILITY & RESIDENTIAL USES SHALL EQUAL THE MAXIMUM RESIDENTIAL FLOOR AREA PERMITTED DETERMINED IN ACCORDANCE WITH SECTION 24-16 (SPECIAL PROVISIONS FOR ZONING LOTS CONTAINING BOTH COMM. FAC. & RES. USES) DIVIDED BY THE APPLICABLE FACTOR IN SECTION 23-20 (DENSITY REGULATIONS).	
YARD REGS.	ZR: 23-462	SIDE YARDS FOR ALL OTHER BUILDINGS CONTAINING RESIDENCES	R7A: IN THE DISTRICTS INDICATED, NO SIDE & YARDS ARE REQUIRED; HOWEVER, IF ANY OPEN AREA EXTENDING ALONG A SIDE LOT LINE IS PROVIDED AT ANY LEVEL, IT SHALL MEASURE AT LEAST EIGHT FEET WIDE FOR THE ENTIRE LENGTH OF THE SIDE LOT LINE.	NO SIDE YARDS REQUIRED
	ZR: 23-47	MIN. REQUIRED REAR YARDS	R8A: IN THE DISTRICTS INDICATED, A REAR YARD WITH A DEPTH OF NOT LESS THAN 30 FEET SHALL BE PROVIDED AT EVERY REAR LOT LINE ON ANY ZONING LOT EXCEPT AS OTHERWISE PROVIDED BY ZR23-54 (OTHER SPECIAL PROVISIONS FOR REAR YARDS)	30'-0" REAR YARD PROVIDED AT WESTERMOST SFT OF LOT 54, OK
	ZR: 23-541	WITHIN 100' OF CORNER	R7A: IN THE DISTRICTS INDICATED, NO REAR YARD IS REQUIRED WITHIN 100' OF STREET CORNER WITH ANGLE LESS THAN 135°	NONE PROVIDED AS DESCRIBED, OK
STREETWALL REGS.	ZR: 23-633	STREET WALL LOCATION REGS. IN CERTAIN DISTRICTS (R7A & R8A)	(a) (1) R7A: IN THE DISTRICT INDICATED, FOR ALL BUILDINGS, THE STREET WALL SHALL BE LOCATED NO CLOSER TO THE STREET LINE THAN THE CLOSEST STREET WALL OF AN EXISTING BUILDING TO SUCH STREET LINE, LOCATED ON THE SAME BLOCK, AND WITHIN 150 FEET OF SUCH BUILDING. (a) (3) R8A: IN THE DISTRICT INDICATED, FOR ALL BUILDINGS, THE FOLLOWING STREET WALL LOCATION PROVISIONS SHALL APPLY ALONG WIDE STREETS	(i) THE STREET WALL SHALL EXTEND ALONG THE ENTIRE STREET FRONTAGE OF A ZONING LOT

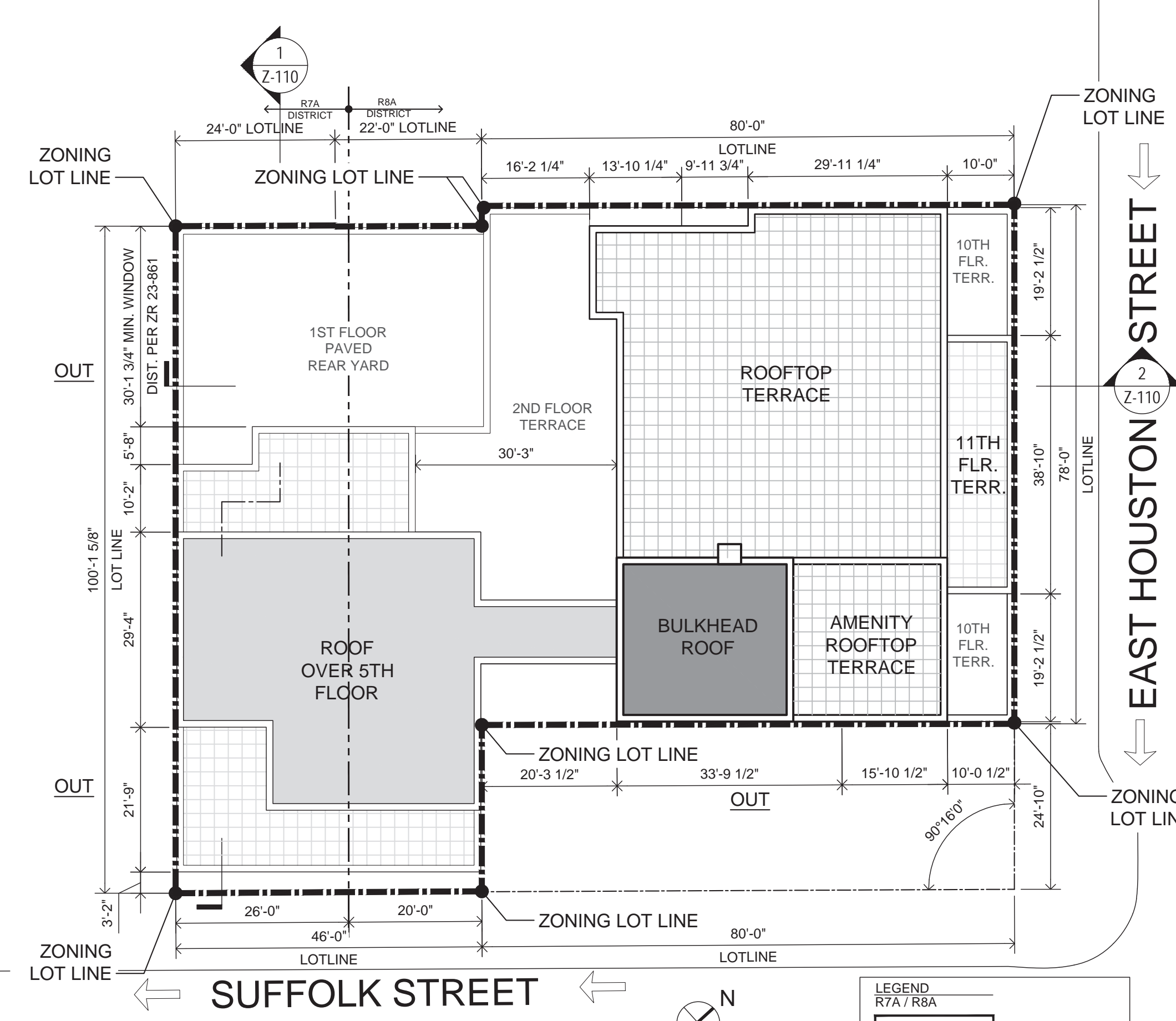
FLOOR	GROSS CONSTRUCTED FLOOR AREA PER FLOOR	# OF FLR	G.F.A. / FLOOR BY ZONING DISTRICT		TOTAL RESIDENTIAL G.F.A		TOTAL COMMUNITY FACILITY G.F.A.		MECHANICAL DEDUCTION		Q.H. DEDUCTION		TOTAL PROPOSED Z.F.A. BY ZONING DISTRICT		TOTAL PROP. Z.F.A.
			R7A	R8A	R7A	R8A	R7A	R8A	R7A	R8A	R7A	R8A	R7A	R8A	
CELLAR	10,792.0 SF	1	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF
1ST - C. F.	8,637.7 SF	1	0 SF	4510.1 SF	1,296.3 SF	2,831.3 SF	0 SF	4,510.1 SF	66.5 SF	0.0 SF	869.3 SF	539.8 SF	360.5 SF	6,801.6 SF	7,162.1 SF
1ST - RES.			1,296.3 SF	2,831.3 SF			0 SF								
2ND - RES.	7,197.5 SF	1	1,646.0 SF	5,552 SF	1,646.0 SF	5,551.6 SF	0 SF	0 SF	66.3 SF	257.0 SF	74.6 SF	706.3 SF	1,505.0 SF	4,588.3 SF	6,093.3 SF
3RD-5TH FLR	7,624.9 SF	3	1,646.0 SF	5,979.0 SF	4,937.9 SF	17,936.9 SF	0 SF	0 SF	200.7 SF	832.8 SF	223.9 SF	2,118.8 SF	4,513.3 SF	14,985.3 SF	19,498.6 SF
6TH-7TH FLR	7,659.1 SF	2	1,664.9 SF	5,994.2 SF	3,329.8 SF	11,988.4 SF	0 SF	0 SF	133.8 SF	555.2 SF	149.3 SF	1,412.6 SF	3,046.7 SF	10,020.7 SF	13,067.4 SF
8TH FLR	6,564.5 SF	1	912.9 SF	5,651.5 SF	912.9 SF	5,651.5 SF	0 SF	0 SF	33.1 SF	247.4 SF	0 SF	611.1 SF	879.9 SF	4,793.1 SF	5,673.0 SF
9TH FLR	4,614.0 SF	1	0 SF	4,614.0 SF	0 SF	4,614.0 SF	0 SF	0 SF	0 SF	202.9 SF	0 SF	421.1 SF	0 SF	3,990.0 SF	3,990.0 SF
10TH FLR	4,257.8 SF	1	0 SF	4,257.8 SF	0 SF	4,257.8 SF	0 SF	0 SF	0 SF	220.0 SF	0 SF	421.1 SF	0 SF	3,616.7 SF	3,616.7 SF
11TH-13TH FLR	3,869.7 SF	3	0 SF	3,869.7 SF	0 SF	11,609.1 SF	0 SF	0 SF	0 SF	610.2 SF	0 SF	1,263.3 SF	0 SF	9,735.6 SF	9,735.6 SF
ROOF	1,232.2 SF	1	0 SF	1,232.2 SF	0 SF	1,232.2 SF	0 SF	0 SF	0 SF	48.3 SF	0 SF	494.3 SF	0 SF	689.7 SF	689.7 SF
TOTALS	93,097.7 S.F.	15	7,166.0 SF	44,491.4 SF	12,122.9 SF	65,672.8 SF	0 SF	4,510.1 SF	500.4 S.F.	2,973.7 S.F.	1,317.1 S.F.	7,988.2 S.F.	10,305.4 S.F.	59,221.0 S.F.	69,526.3 S.F.

4 ZONING FLOOR AREA DISTRIBUTION CHART
SCALE: N/A

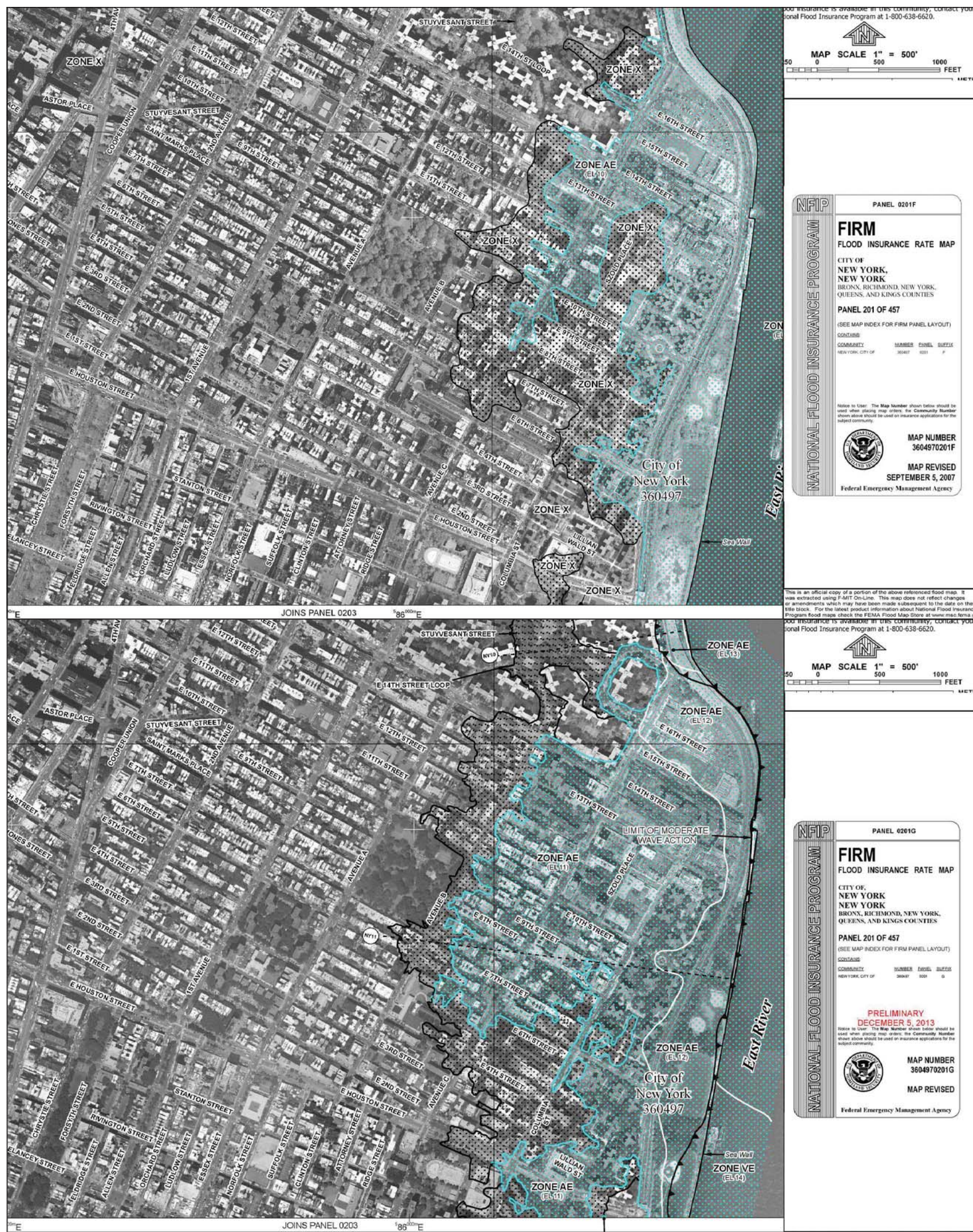
SECTION	TITLE OF SECTION	ZONING REGULATION - SUMMARY	ALLOWED AND / OR REQUIRED	PROVIDED
HEIGHT, SETBACK REQS. AND MAXIMUM NUMBER OF PERMITTED OF FLOORS	ZR: 23-662	(a) MAX. BLDG. & BASE HEIGHT FOR QUALITY HOUSING BUILDINGS	R7A: MIN. & MAX. BASE, AND MAX. BUILDING HT. R7A: MIN. BASE HEIGHT = 40 FT MAX. BASE HEIGHT = 65 FT MAX. BLDG. HEIGHT = 85 FT	COMPLIES, SEE ZONING SECTIONS COMPLIES, SEE ZONING SECTIONS COMPLIES, SEE ZONING SECTIONS
	ZR: 23-664	MODIFIED HEIGHT & SETBACK REQS. FOR CERTAIN INCLUSIONARY HOUSING BUILDINGS	R8A: BASE & BLDG. HEIGHT, AND NUMBER OF PERMITTED STORIES FOR QUALITY HOUSING BUILDINGS IN MANDATORY INCLUSIONARY DESIG. DISTRICT	R7A: MAX. BASE HEIGHT = 105 FT MAX. BLDG. HEIGHT = 140 FT MAX. # OF FLRS. = 14
WINDOW DISTANCE	ZR: 23-861	MINIMUM DISTANCE BETWEEN LEGALLY REQUIRED WINDOWS AND WALLS OR LOT LINES	R7A: IN THE DISTRICTS INDICATED, MIN. DISTANCE BETWEEN LEGALLY REQUIRED R8A: WINDOW AND ANY WALL, SEE OR REAR LOT LINE SHALL BE 30'	COMPLIES - SEE ZONING SITE PLAN & SECTION, OK
	ZR: 23-863	MINIMUM DISTANCE BETWEEN LEGALLY REQUIRED WINDOWS AND ANY WALL IN AN INNER COURT	R7A: IN THE DISTRICTS INDICATED, MINIMUM DISTANCE BETWEEN LEGALLY REQUIRED R8A: WINDOW AND ANY WALL, SEE OR REAR LOT LINE SHALL BE 30'	COMPLIES - 30'-3" PROVIDED SEE ZONING SITE PLAN & SECTION, OK
INCLUSIONARY HOUSING REQUIREMENTS	ZR: 23-96	DISTRIBUTION (b) (1) #AFFORDABLE HOUSING UNITS SHALL BE DISTRIBUTED ON NOT LESS THAN 65% OF THE NUMBER OF FLOORS CONTAINING RESIDENTIAL UNITS (b) (2) #AFFORDABLE HOUSING UNITS SHALL NOT COMPRISE MORE THAN ONE-THIRD OF THE TOTAL NUMBER OF D.U. ON ANY STORY (c) THE AFFORDABLE D.U.s SHALL CONTAIN A BEDROOM MIX AT LEAST PROPORTIONAL TO THE BEDROOM MIX OF THE MARKET RATE D.U.s. (d) MINIMUM FLOOR AREA WITHIN THE PERIMETER WALLS OF THE AFFORDABLE D.U.s AS FOLLOWS: STUDIO 400 SF 1-BR 575 SF 2-BR 775 SF	65% x 12 FLOORS = 8 FLOORS OUT OF TOTAL RESIDENTIAL FLOORS 2-13, #AFFORDABLE HOUSING UNITS ARE REQUIRED ON RESIDENTIAL FLOORS 2-9	COMPLIED - SEE INCLUSIONARY HOUSING CHARTS ON Z-110 COMPLIED - SEE INCLUSIONARY HOUSING CHARTS ON Z-110 COMPLIED - SEE INCLUSIONARY HOUSING CHARTS ON Z-110
VEHICULAR PARKING	ZR: 12-10	DEFINITIONS	THE "MANHATTAN CORE" IS THE AREA WITHIN MANHATTAN COMMUNITY DISTRICTS 1, 2, 3, 4, 5, 6, 7 AND 8.	NO VEHICULAR OFF-STREET PARKING REQUIRED
	ZR: 13-10	PERMITTED OFF-STREET PARKING IN THE "MANHATTAN CORE"	NO PARKING SHALL BE REQUIRED WITHIN THE "MANHATTAN CORE".	2 SPACES PROVIDED, OK
BICYCLE PARKING	ZR: 25-811	ENCLOSED BICYCLE PARKING SPACES	WHERE A BUILDING OR ZONING LOT CONTAINS TWO OR MORE USES HAVING DIFFERENT BICYCLE PARKING REQUIREMENTS, THE REQUIREMENTS FOR EACH TYPE OF USE SHALL APPLY TO THE EXTENT OF THAT USE. THE REQUIRED NUMBER OF SPACES FOR THE USE TO WHICH SUCH FACILITY IS ACCESSORY SHALL BE: USE GROUP 2: 1 PER 2 D.U. USE GROUP 3 (UNLISTED): 1 PER 10,000 S.F.	88 D.U. / 2 = 44 BIKES 4,610 S.F. = 1 BIKE
	ZR: 25-83	RESTRICTIONS ON OPERATION, SIZE AND LOCATION OF ENCLOSED BICYCLE PARKING SPACES	ENCLOSED ACCESSORY BICYCLE PARKING SHALL BE SURROUNDED ON ALL SIDES BY A SOLID ENCLOSURE. EACH BICYCLE SPACE SHALL ADJOIN A RACK OR SIMILAR SYSTEM FOR SECURING A BICYCLE. SPACES SHALL BE LOCATED IN AN AREA SECURED BY A LOCK OR SIMILAR MEANS, OR ADJOIN A SECURELY ANCHORED RACK TO WHICH THE BICYCLE FRAME AND AT LEAST ONE WHEEL CAN BE LOCKED. 15 S.F. OF AREA SHALL BE PROVIDED FOR EACH REQUIRED BICYCLE SPACE.	PROVIDED = 675 S.F., OK
QUALITY HOUSING REQS	ZR: 29-21	MINIMUM SIZE OF DWELLING UNITS	DWELLING UNITS SHALL HAVE A MINIMUM FLOOR AREA OF 400 S.F.	SMALLEST UNIT = 404 SF NET, OK (STUDIO "G")
	ZR: 29-22	WINDOWS	ALL WINDOWS IN THE RESIDENTIAL PORTION OF THE DEVELOPMENT SHALL BE DOUBLE GLAZED.	WINDOWS ARE DOUBLE GLAZED OITC RATING 37
	ZR: 29-23	REFUSE STORAGE & DISPOSAL	REFUSE STORAGE SHALL BE ENTIRELY WITHIN AN ENCLOSED AREA IN THE BUILDING & APPROPRIATE LOCATIONS DESIGNATED FOR THIS PURPOSE. A REFUSE ROOM OF 10 S.F. MIN. w/ NO DIMENSION LESS THAN 3 FT SHALL BE PROVIDED ON EACH STORY CONTAINING DWELLING UNITS. 12 S.F. OF SUCH FLOOR AREA IS EXEMPT FROM INCLUSION IN F.A.R.	REFUSE COMPACTOR ROOM PROVIDED AT CELLAR LEVEL, OK ALL RESIDENTIAL FLOORS HAVE A REFUSE ROOM WITH A DIRECT INTAKE TO THE REFUSE CHUTE, OK FLOOR AREA HAS BEEN REMOVED, SEE ZONING DIAGRAMS ON Z-110, OK
	ZR: 29-24	LAUNDRY FACILITIES	AT LEAST ONE WASHING MACHINE PER 20 D.U. & AT LEAST ONE DRYER PER 40 D.U.	ALL D.U. HAVE WASHER/DRYER IN ADDITION, COMMON LAUNDRY ROOM IN CELLAR IS PROVIDED WITH TWO ADA-COMPLIANT WASHERS & DRYERS.
	ZR: 29-25	DAYLIGHT IN CORRIDORS	50% OF CORRIDOR FLOOR AREA IS EXEMPT FROM INCLUSION IN F.A.R. PROVIDED THAT A CLEAR, GLAZED WINDOW OF 20 S.F. MIN. IS ARRANGED IN THE CORRIDOR SUCH THAT IT BE DIRECTLY VISIBLE FROM THE VERTICAL CIRCULATION CORE; AND IS LOCATED AT LEAST 20 FT FROM A WALL, A SIDE OR REAR LOT LINE AS MEASURED HORIZONTALLY PERPENDICULAR TO THE WINDOW OPENING.	GLASS LINK BRIDGE CONNECTING THE PROJECT'S TWO WINGS AT THE CORE PROVIDES SUCH LIGHT.
	ZR: 29-31	REQUIRED RECREATION SPACE	ALL DEVELOPMENTS WITH 9 OR MORE DWELLING UNITS SHALL PROVIDE THE MINIMUM AMOUNT OF RECREATION SPACE, AS A PERCENTAGE OF RESIDENTIAL F.A.R., SET FORTH IN THIS SECTION. FLOOR AREA OF INDOOR RECREATION SPACE PROVIDED IS EXEMPT FROM INCLUSION IN F.A.R. R7A: REC. SPACE REQ'D: 3.3 % R8A: REC. SPACE REQ'D: 2.8 %	SEE ZR 77-40 BELOW
	ZR: 29-31	DENSITY PER CORRIDOR	IF THE NUMBER OF UNITS PER FLOOR DOES NOT EXCEED THE NUMBER, PER ZONING DISTRICT SHOWN BELOW, 50% OF THE CORRIDOR FLOOR AREA IS EXEMPT FROM INCLUSION IN F.A.R.	R7A: 11 UNITS / FLOOR R8A: 10 UNITS / FLOOR MAX. NO. OF D.U. / CORRIDOR = 9, OK
	ZR: 77-40	SUPPLEMENTAL REGULATIONS (FOR ZONING LOTS DIVIDED BY DISTRICT BOUNDARIES)	FOR BUILDINGS DEVELOPED ON ZONING LOTS DIVIDED A DISTRICT BOUNDARY, THE FOLLOWING SECTIONS OF ARTICLE II, CHAPTER 8, SHALL APPLY TO THE ENTIRE BUILDING. WHERE EACH DISTRICT HAS A DIFFERENT RECREATION SPACE REQUIREMENT, AND DENSITY OF DWELLING UNITS PER CORRIDOR, ONE STANDARD FOR THE BUILDING IS DERIVED BY MULTIPLYING EACH STANDARD BY THE % OF THE ZONING LOT TO WHICH IT APPLIES. THE SUM OF THE PRODUCTS THUS OBTAINED IS THE ADJUSTED STANDARD APPLICABLE TO THE BUILDING. R7A: REC. SPACE REQ'D: 3.3 % R8A: REC. SPACE REQ'D: 2.8 % R7A: D.U. DENSITY / CORR: 10 R8A: D.U. DENSITY / CORR: 11 ADJUSTED MAX. D.U. / CORR. = 2.40 x 8.36 = 10.76 D.U. / CORRIDOR	PROPORTIONATE R7A REC. SPACE REQ'D: [2,603 / (10,843) x 3.3 %] = 0.792 % PROPORTIONATE R8A REC. SPACE REQ'D: [8,240 / (10,843) x 2.8 %] = 2.128 % ADJUSTED REC. SPACE REQ'D = 2.128 + 0.792 = 2.920 % TOTAL REC. SPACE REQUIRED = [(8,240) + 4,510] x (2.92%) = 1,905 S.F. PROPORTIONATE R7A MAX. D.U. / CORR: [2,603 / (10,843) x 11] = 6.36 D.U. PROPORTIONATE R8A MAX. D.U. / CORR. = 2.40 x 8.36 = 10.76 D.U. / CORRIDOR INDOOR REC. SPACE PROVIDED = 1,465 SF (1ST FLR) + 490 SF (14TH FLR) = 1,955 S.F., OK REC. SPACE DEDUCTION FROM F.A.R. = 1,955 S.F. NO. OF D.U. / CORRIDOR PROV. = 9, OK
	ZR: 29-33	PLANTING AREAS	AREA OF ZONING LOT BETWEEN STREET LINE & STREET WALL OF THE BUILDING SHALL BE PLANTED AT GROUND LEVEL, OR IN RAISED PLANTING BEDS THAT ARE PERMANENTLY AFFIXED TO THE GROUND, PER ZR 23-802	SEE 1ST FLR. PLAN (A-110) PROVIDED, OK



1 VICINITY MAP
SCALE: N/A



2 ZONING SITE PLAN
SCALE: 1/16" = 1'-0"

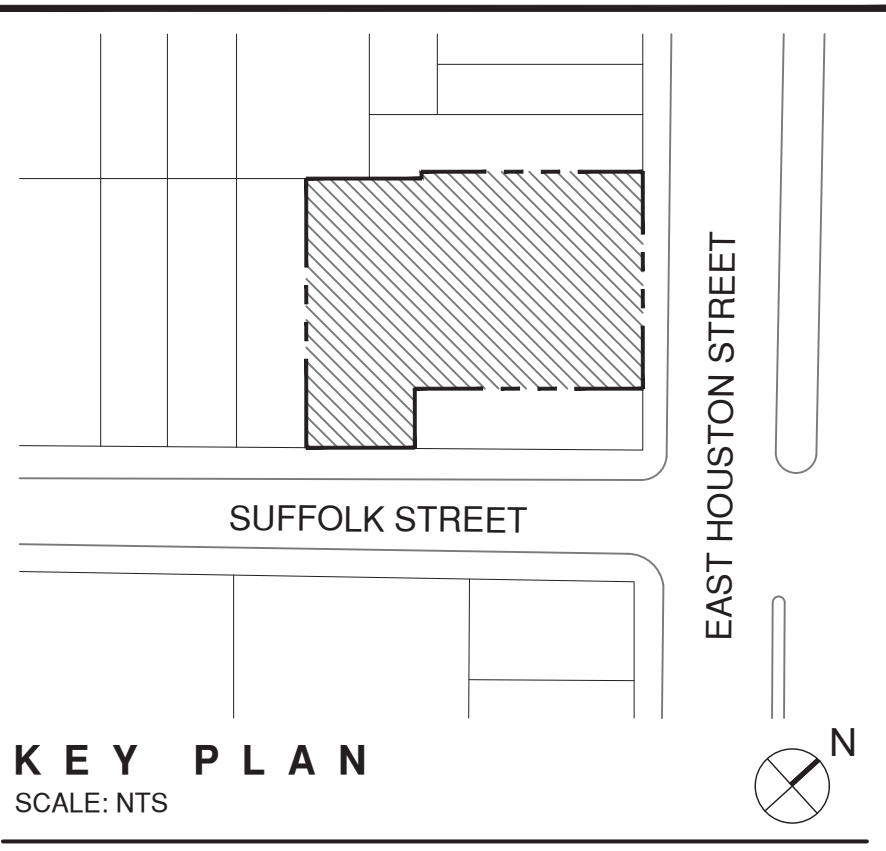


3 FEMA FLOOD MAPS
SCALE: N.T.S.

PROJECT SITE

EXTENT OF THE AREA WITHIN 90'-0" OF PROJECT SITE PER TPN 10/88:

THE BUILDING AT 172 NORFOLK ST. IS LPC-DESIGNATED UNDER LP-01440 "ANSHE SLOINIM SYNAGOUE"



KEY PLAN
SCALE: NTS

10/14/16	HPD REVISION 1
07/12/16	HPD FILING SET
08/14/15	DOB FILING SET

The Stephen B. Jacobs Group, P.C.
Architects and Planners
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New York, N.Y. 10016
212-421-3712
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255 EAST HOUSTON ST.
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Drawing Title:
ZONING ANALYSIS, SITE PLAN, VICINITY & FEMA MAPS

SEAL & SIGNATURE:	DATE: 08/14/2015
PROJECT: 1446	DRAWING NO. Z-100.00
DWG. REV: 0/148 - 2-100 - ZONING ANALYSIS	02 OF 40

UNIT SIZE CHART D							
CONST. FLOOR #	MKTG. FLOOR #	APT LINE	APT #	#BDRMS	NET SQ. FT.	UNIT SUMMARY	
2	2	A	2A	1BR	592	0 BR	37
2	2	B	2B	STU	361	1 BR	39
2	2	C	2C	STU	360	2 BR	11
2	2	D	2D	1BR	702	3 BR	1
2	2	E	2E	1BR	599	TOTAL 88	
2	2	F	2F	1BR	606		
2	2	H1	2H	STU	416		
2	2	J	2J	STU	409		
2	2	K	2K	2BR	1,014		
3	3	A	3A	1BR	592		
3	3	B	3B	STU	361		
3	3	C	3C	STU	360		
3	3	D	3D	1BR	702		
3	3	E	3E	1BR	599		
3	3	F	3F	1BR	608		
3	3	G	3G	STU	404		
3	3	H	3H	STU	415		
3	3	J	3J	STU	410		
3	3	K	3K	2BR	1,010		
4	4	A	4A	1BR	592		
4	4	B	4B	STU	361		
4	4	C	4C	STU	360		
4	4	D	4D	1BR	702		
4	4	E	4E	1BR	599		
4	4	F	4F	1BR	608		
4	4	G	4G	STU	404		
4	4	H	4H	STU	415		
4	4	J	4J	STU	410		
4	4	K	4K	2BR	1,010		
5	5	A	5A	1BR	592		
5	5	B	5B	STU	361		
5	5	C	5C	STU	360		
5	5	D	5D	1BR	702		
5	5	E	5E	1BR	599		
5	5	F	5F	1BR	608		
5	5	G	5G	STU	404		
5	5	H	5H	STU	415		
5	5	J	5J	STU	410		
5	5	K	5K	2BR	1,010		
6	6	A	6A	1BR	592		
6	6	B	6B	STU	361		
6	6	C	6C	STU	360		
6	6	D	6D	1BR	695		
6	6	E	6E	1BR	599		
6	6	F	6F	1BR	608		
6	6	G	6G	STU	404		
6	6	H	6H	STU	415		
6	6	J	6J	STU	410		
6	6	K	6K	2BR	1,010		
7	7	A	7A	1BR	592		
7	7	B	7B	STU	361		
7	7	C	7C	STU	360		
7	7	D	7D	1BR	695		
7	7	E	7E	1BR	599		
7	7	F	7F	1BR	608		
7	7	G	7G	STU	404		
7	7	H	7H	STU	415		
7	7	J	7J	STU	410		
7	7	K	7K	2BR	1,010		
8	8	A	8A	1BR	592		
8	8	B	8B	STU	361		
8	8	C	8C	STU	360		
8	8	D	8D	1BR	695		
8	8	E	8E	1BR	599		
8	8	F	8F	1BR	608		
8	8	L	PH-E	3BR	1,480		
9	9	A	9A	1BR	592		
9	9	B	9B	STU	361		
9	9	C	9C	STU	360		
9	9	D	9D	1BR	695		
9	9	E	9E	1BR	599		
9	9	F	9F	1BR	608		
10	10	A1	10A	1BR	629		
10	10	D1	10B	2BR	989		
10	10	E1	10C	2BR	872		
10	10	F1	10D	STU	340		
11	11	A2	11A	1BR	610		
11	11	D2	11B	1BR	707		
11	11	E2	11C	2BR	841		
11	11	F1	11D	STU	340		
12	12	A2	12A	1BR	610		
12	12	C2	12B	1BR	707		
12	12	E2	12C	2BR	841		
12	12	F1	12D	STU	340		
13	PH	A2	PH-A	1BR	610		
13	PH	C2	PH-B	1BR	707		
13	PH	E2	PH-C	2BR	841		
13	PH	F1	PH-D	STU	340		
TOTAL (inc. Non-Affordable Dwelling Units) :						42,303	

FLOOR	STUDIO	1BR	2BR	3BR	TOTALS
1					
2	4	4	1		9
3	5	4	1		10
4	5	4	1		10
5	5	4	1		10
6	5	4	1		10
7	5	4	1		10
8	2	4		1	7
9	2	4			6
10	1	1	2		4
11	1	2	1		4
12	1	2	1		4
13	1	2	1		4
TOTAL:	37	39	11	1	88

2 UNIT MIX
SCALE: N/A

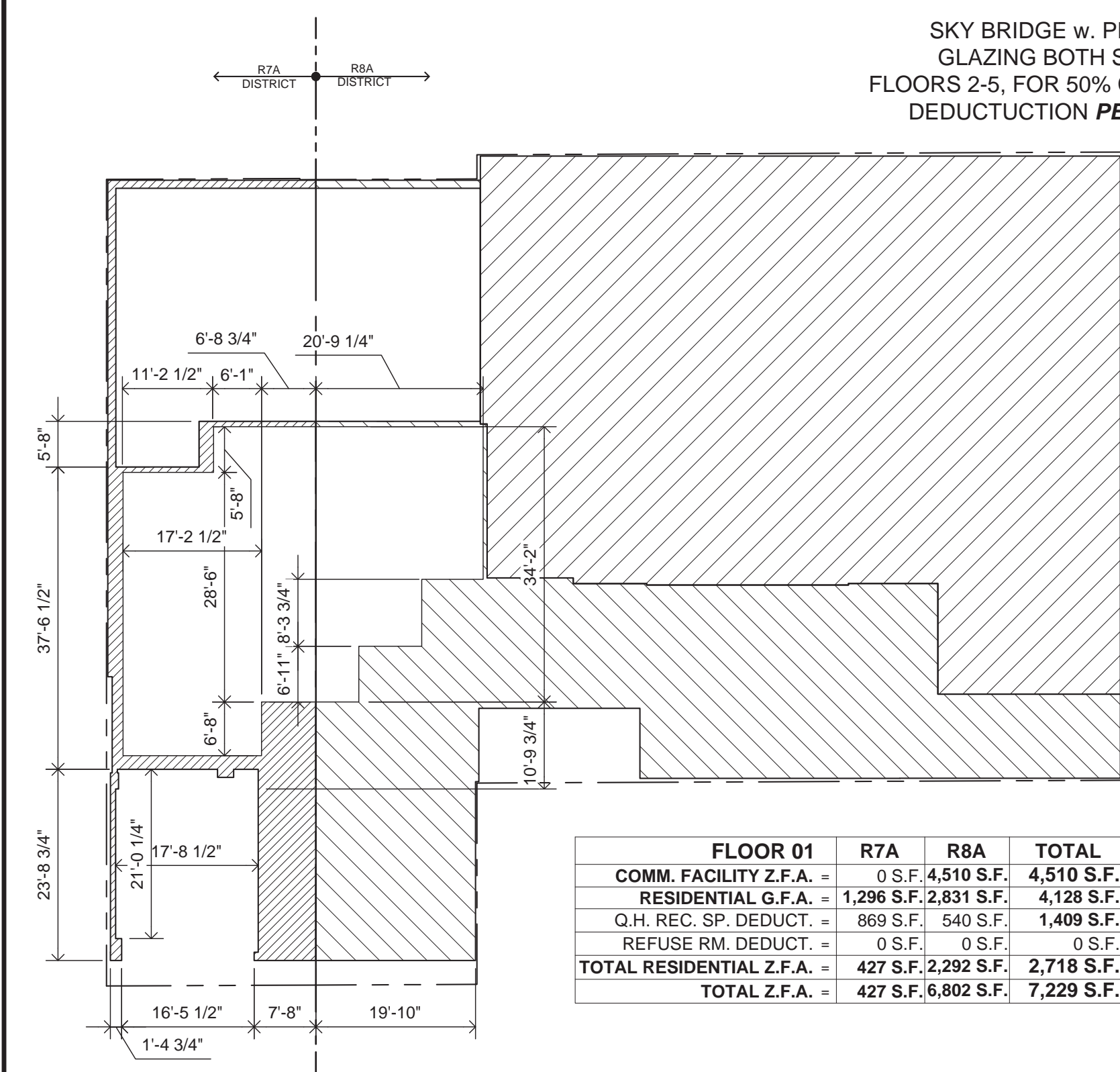
UNIT HEIGHT DISTRIBUTION CHART A													
FLOOR	INCLUSIONARY HOUSING APARTMENT NUMBERS												TOTAL # OF IH UNITS/FLOOR
	A	B	C	D	E	F	G	H	J	K	L		
13													0
12													0
11													0
10													0
9						9F							1
8	8A												1
7	7A					7F							2
6	6A						6G			6K			3
5						5F		5J	5K				3
4	4A						4G		4J				3
3							3G		3J	3K			3
2	2A								2J				2
1													
TOTAL DU :													18

HORIZONTAL UNIT DISTRIBUTION CHART B						
FLOOR	MARKETING FLOOR #	TOTAL # OF UNITS PER FLOOR	IH UNITS PER FLOOR	STAFF UNITS PER FLOOR	NON-IH UNITS PER FLOOR	IH %-AGE
1	1	0	0			0.00%
2	2	9	2		7	22.22%
3	3	10	3		7	30.00%
4	4	10	3		7	30.00%
5	5	10	3		7	30.00%
6	6	10	3		7	30.00%
7	7	10	2		8	20.00%
8	8	7	1		6	14.29%
9	9	6	1		5	16.67%
10	10	4	0		4	0.00%
11	11	4	0		4	0.00%
12	12	4	0		4	0.00%
13	PH	4	0		4	0.00%
TOTAL :		88	18		70	

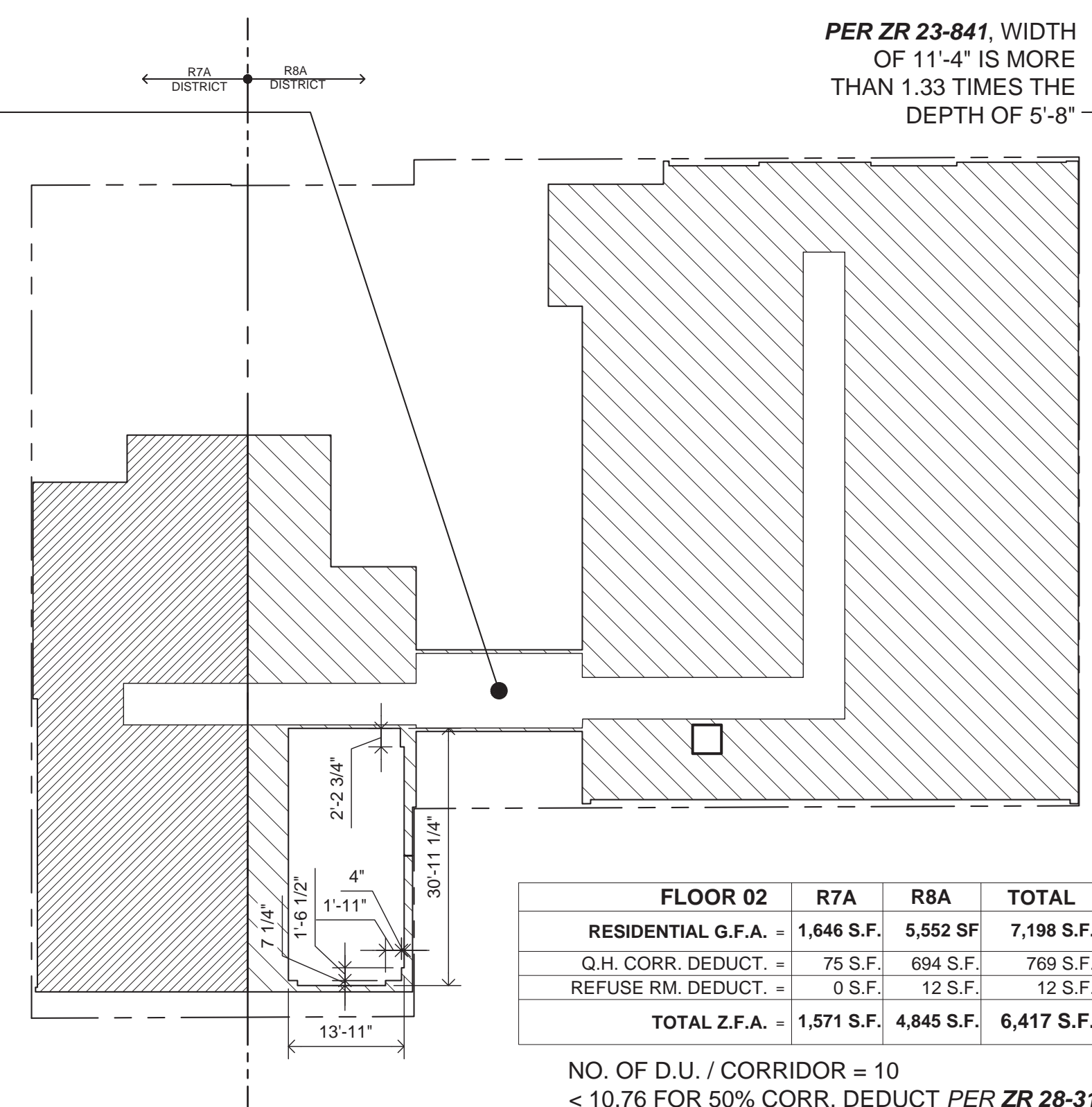
UNIT BEDROOM MIX CHART C						
IH TYPES	UNIT SUMMARY	% BREAKDOWN	NON-IH UNIT TYPES	% BREAKDOWN	SUPER/STAFF UNITS	TOTAL NO. OF UNITS
STUDIO	7	38.89%	30	42.86%		37
1 BR.	8	44.44%	31	44.29%		39
2 BR.	3	16.67%	8	11.43%		11
3 BR.	0	0.00%	1	1.43%		1
TOTAL :		18	70		0	88

INCLUSIONARY HOUSING AREA CALCULATIONS		LOW INCOME HOUSING FLOOR AREA	
A: measurement of "Floor Area" as defined in ZR 12-10 devoted to residents		A= 65,014	
B: measurement of "Floor Area" attributed to dwelling units designated for Lower Income Housing. For each separate Lower Income Dwelling Unit: Such measurement includes square footage within the inside face of walls enclosing dwelling unit, (ie. all floor surfaces within the dwelling unit, including closets, and the portions that separate rooms that are within same dwelling unit. Such measurement excludes (a) thickness of exterior walls (b) thickness of portions separating such dwelling unit from other dwelling unit or spaces, and (c) portions of such dwelling unit that does not qualify as floor area.		B= 10,653	
C: measurement of "Floor Area" attributed to dwelling units NOT designated for Lower Income Housing. For each separate Lower Income Dwelling Unit: Such measurement includes square footage within the inside face of walls enclosing dwelling unit, (ie. all floor surfaces within the dwelling unit, including closets, and the portions that separate rooms that are within same dwelling unit. Such measurement excludes (a) thickness of exterior walls (b) thickness of portions separating such dwelling unit from other dwelling unit or spaces, and (c) portions of such dwelling unit that does not qualify as floor area.		C= 39,909	
D: measurement of "Floor Area" attributed to common areas in the building for which a fee is charged for their use.		D= 0	
E: measurement of "Floor Area" attributed to common areas in the building for which NO fee is charged for their use. Calculated as follows: A - B - C - D = E		E= 14,454	
ZONING REGULATIONS, FAR BONUS		B+ (B) * (B+C) * (A - (B+C) - D) = 13,698	
ZR 23-164 FAR BONUS 1.25 SF FOR EACH SF OF LOW INCOME FA. 1.6 x 8,240 SF = 14,384 BONUS FA. 14,832 1.25 = 11,698 (MIN REQ. LOW INCOME SF) PROVIDED: 13,698 S.F.			

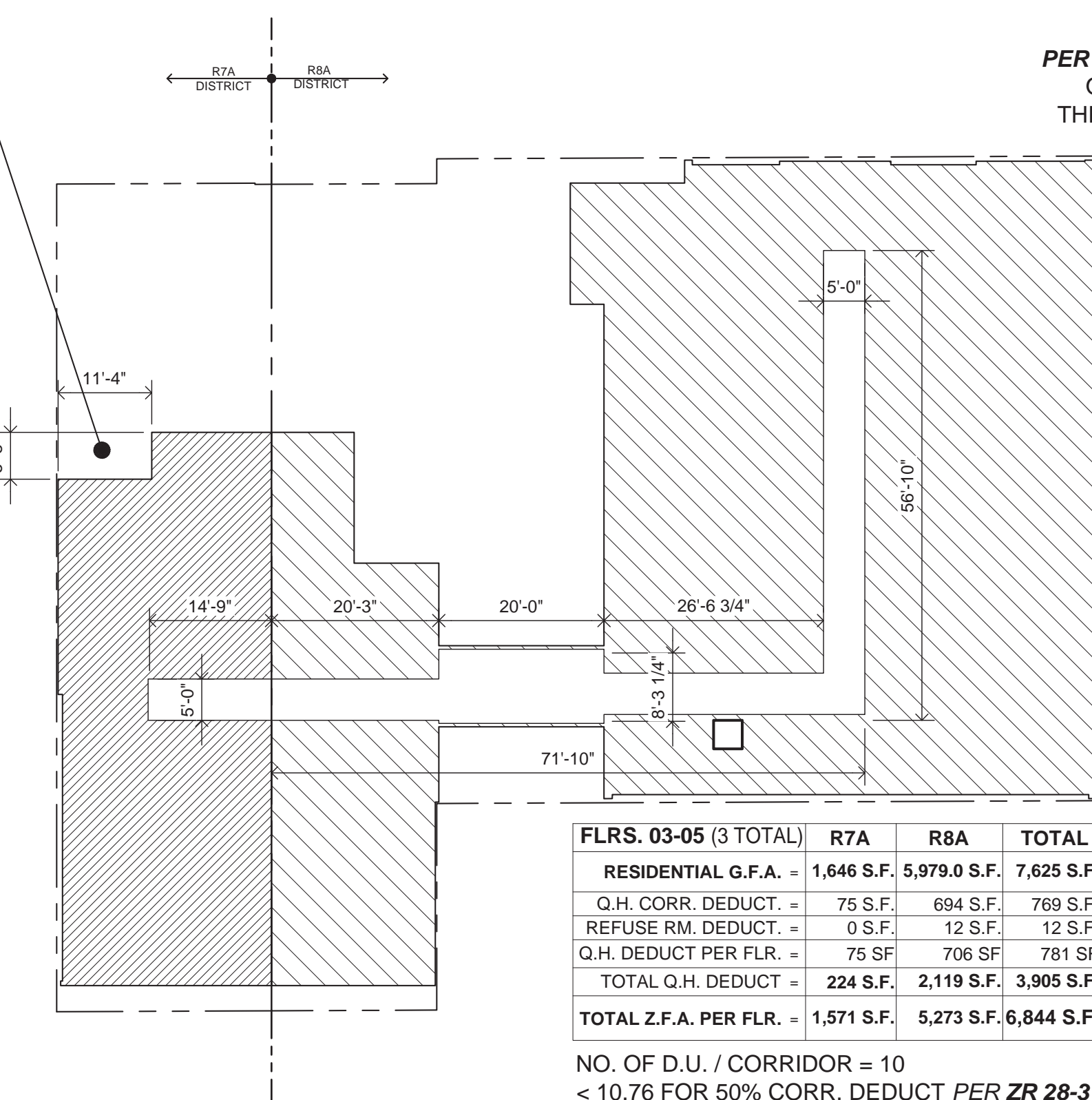
INCLUSIONARY NET SQUARE FOOTAGE CHART																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
FLOOR	UNIT A		UNIT B		UNIT C		UNIT D		UNIT E		UNIT F		UNIT G		UNIT H		UNIT J		UNIT K		UNIT L		ABOVE GRADE GROSS SF/FL	MECH. & STAIR DEDUCT.	G.H. DEDUCT.	COMMUNITY FACILITY FA	RES. ZONING	NET MARKET UNIT FA [A]	NET MARKET UNIT [C]	NET UNIT SF PER FL	UNITS PER FL	LOW INCOME UNIT INFO																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	FLOOR AREA [B]	UNIT CT/FL										UNIT % PER FL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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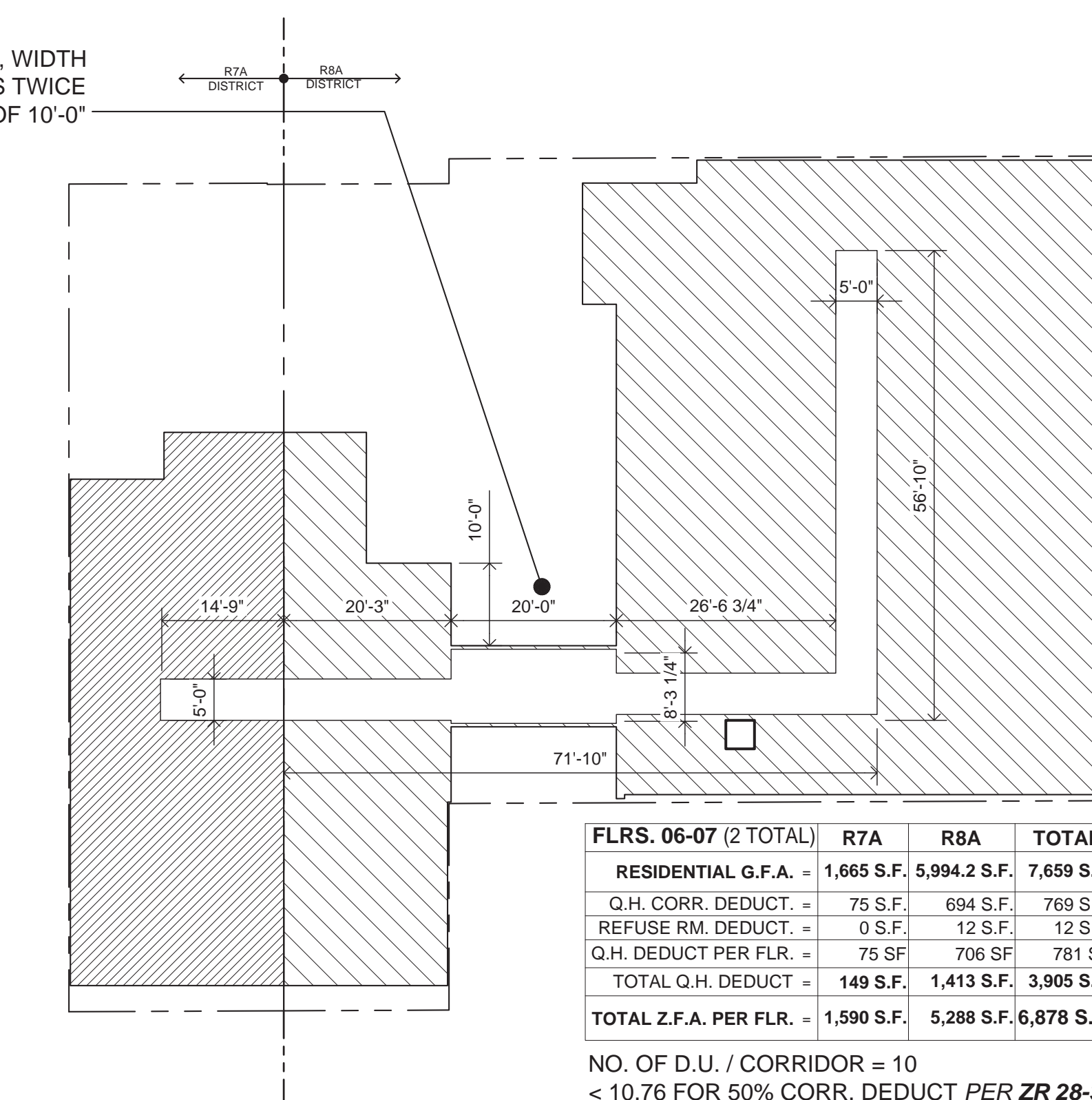
1 1ST FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



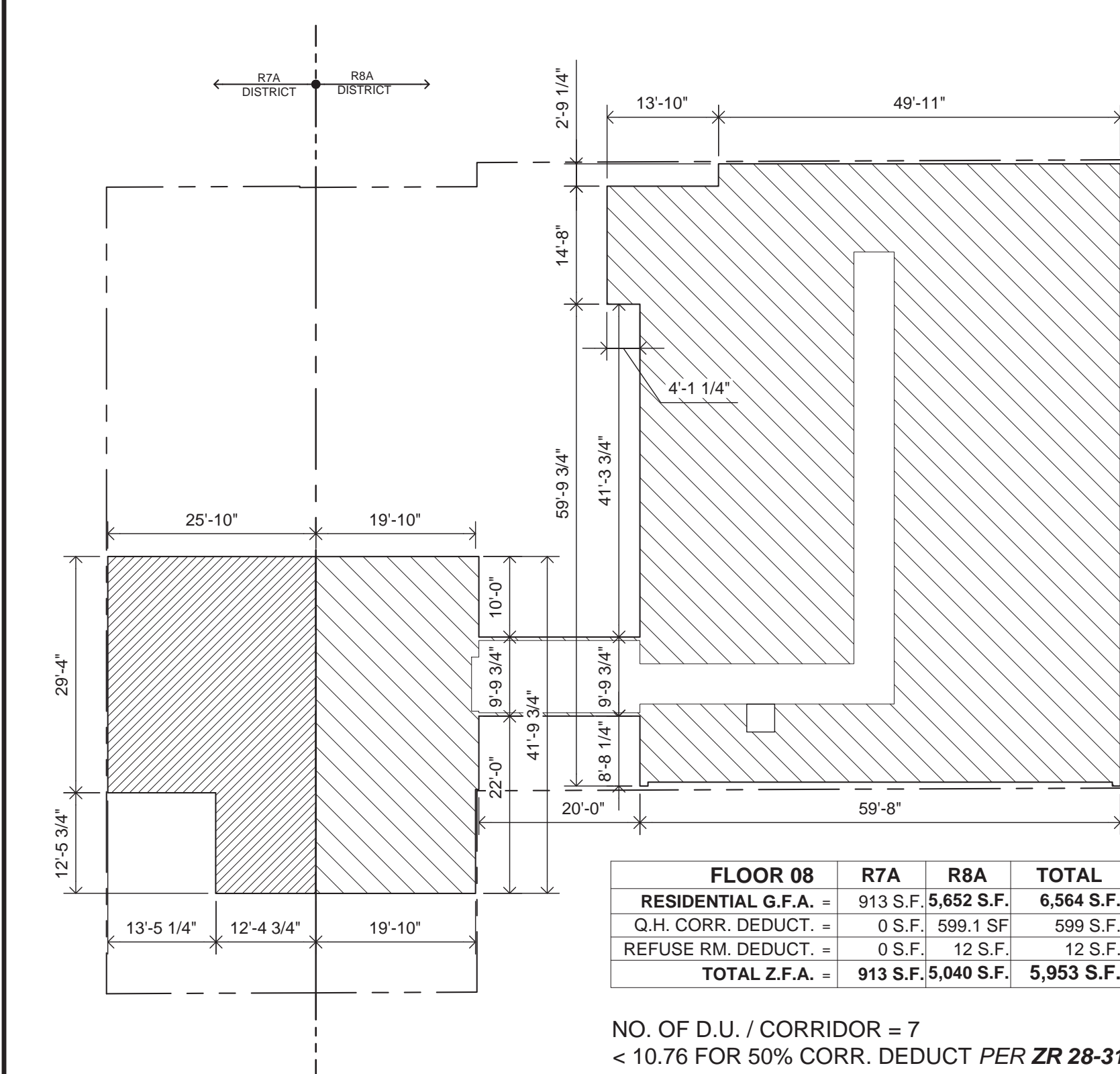
2 2ND FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



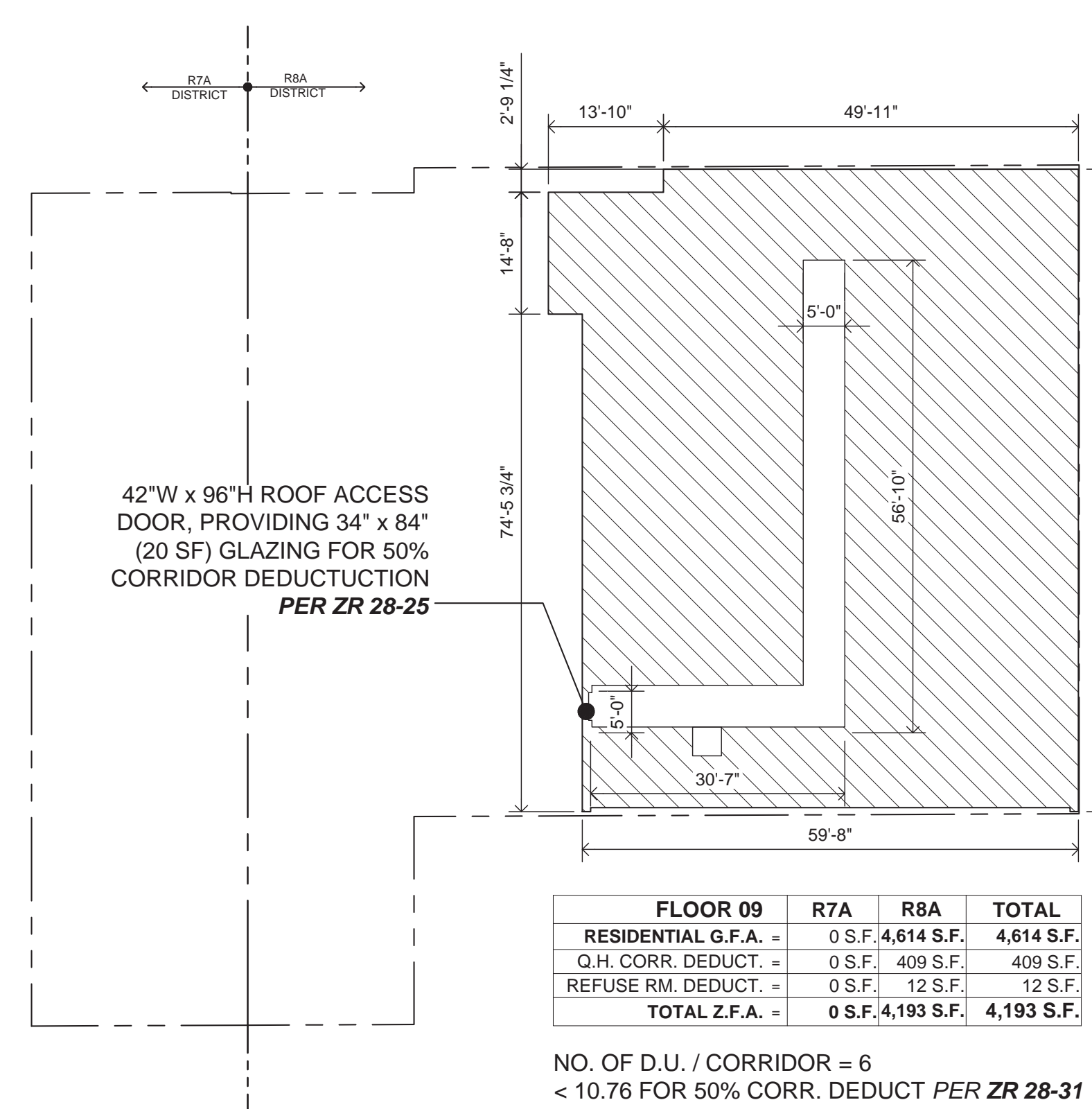
3 3RD-5TH FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



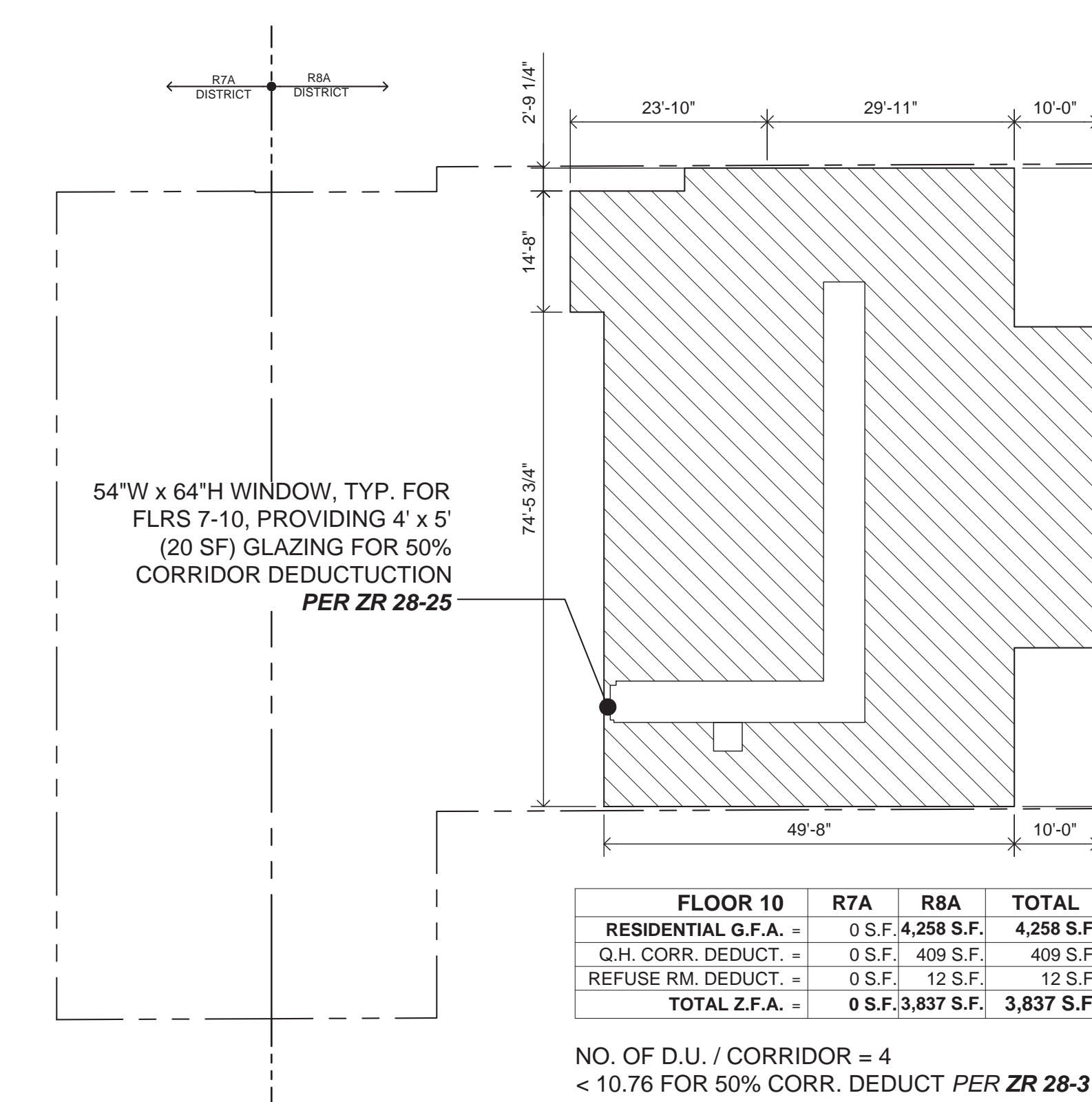
3 6TH-7TH FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



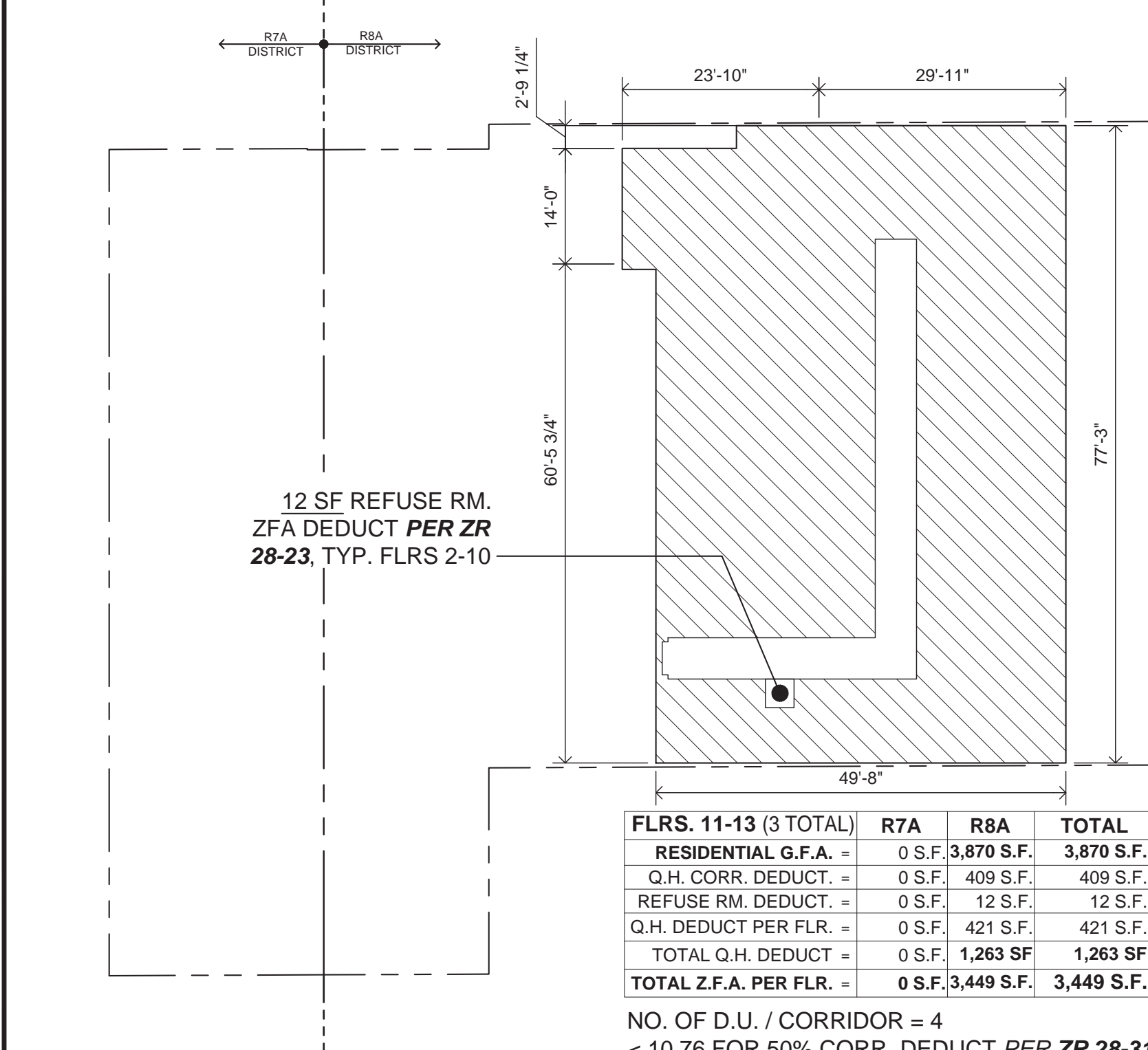
4 8TH FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



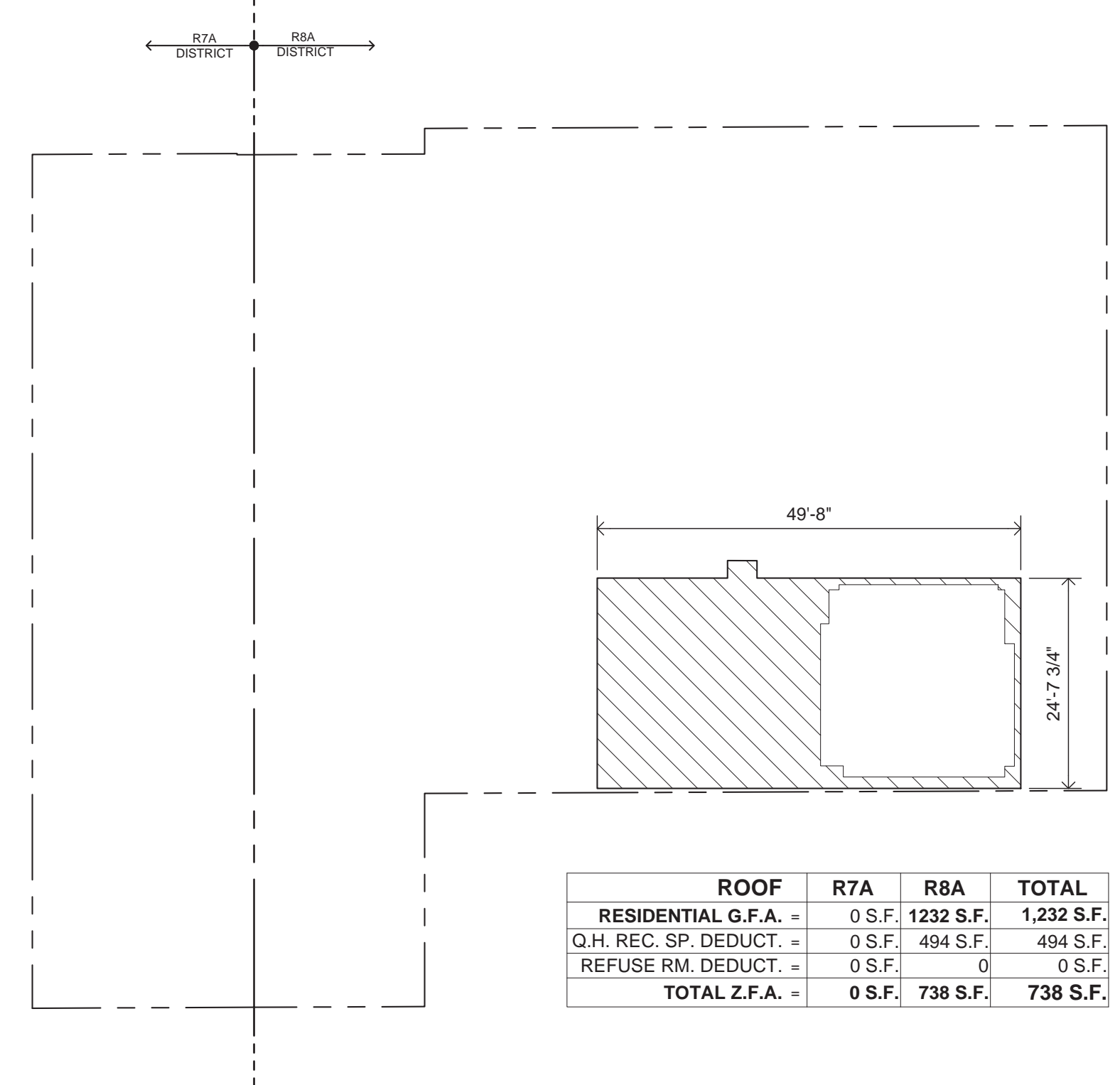
5 9TH FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



6 10TH FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



7 11TH-13TH FLOOR Z.F.A. DIAGRAM BY ZONING DISTRICT
SCALE: 1/16"=1'-0"

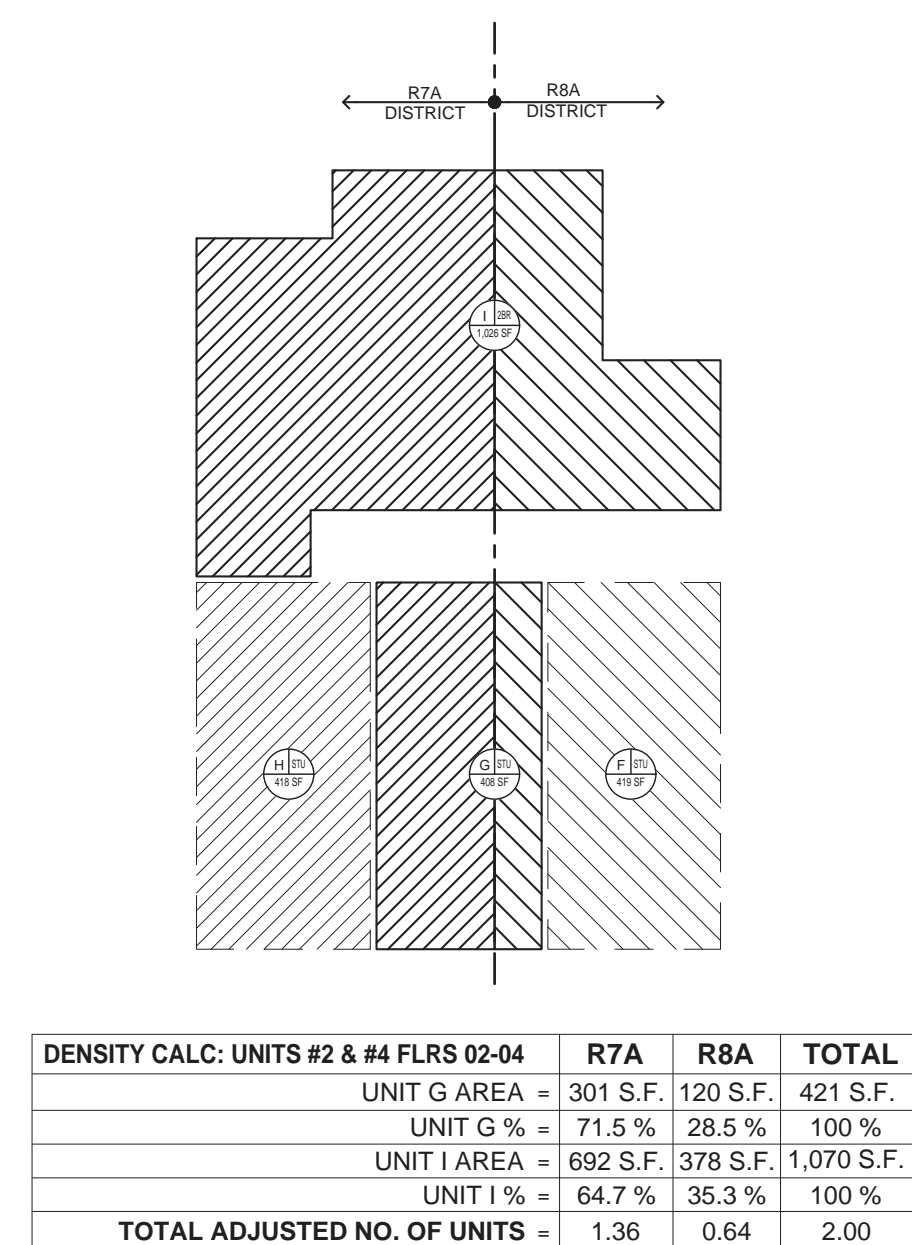


8 ROOF Z.F.A. DIAGRAM BY ZONING DISTRICT
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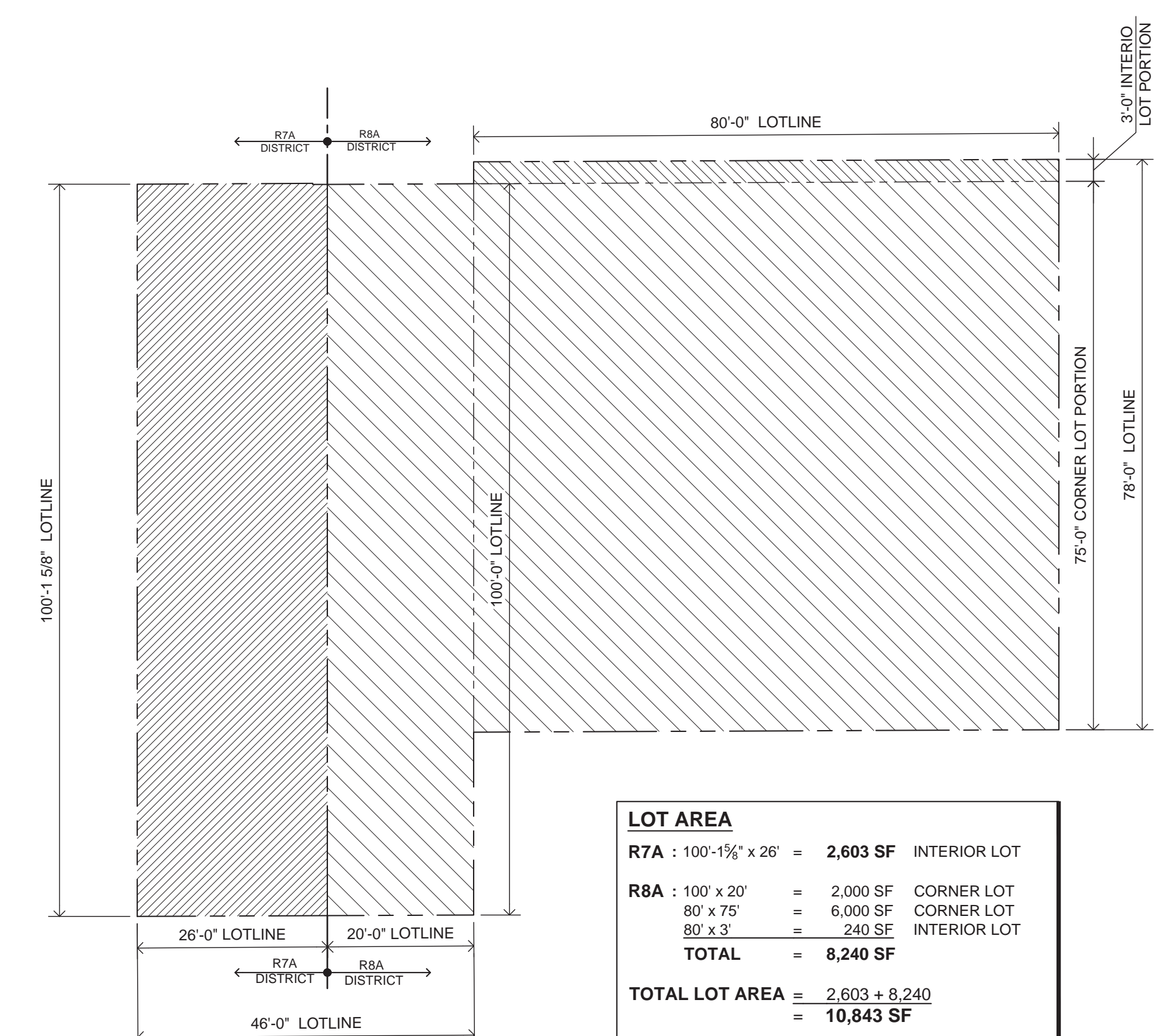
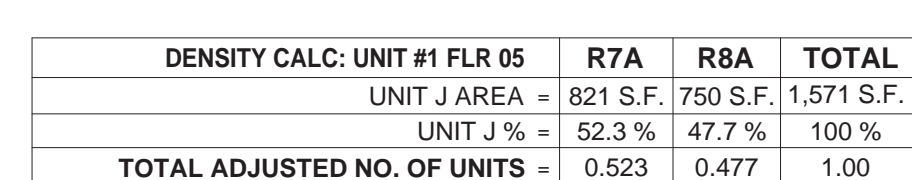
Z.F.A. BY ZONING DISTRICT & QUALITY HOUSING DEDUCTION NOTES:

- QUALITY HOUSING RECREATION SPACE DEDUCTION PER ZR 28-31, AS MODIFIED BY ZR 77-40 IS NOTED & DIMENSIONED ON DWG 1/Z-111
- QUALITY HOUSING DEDUCTION OF 12 S.F. PER ZR 28-23 NOTED ON DWG 7/Z-111, TYPICAL FOR ALL FLOORS CONTAINING D.U.'s (FLOORS 2-10)
- QUALITY HOUSING 50% CORRIDOR DEDUCTION PER ZR 28-25 FOR DAYLIGHT IN CORRIDORS NOTED ON DWGS 2/Z-111, 5/Z-111 & 6/Z-111
- QUALITY HOUSING 50% CORRIDOR DEDUCTION PER ZR 28-41 DENSITY PER CORRIDOR, AS MODIFIED PER ZR 77-40, NOTED ON ALL FLOORS
- CORRIDORS DIMENSIONED FOR Z.F.A. DEDUCTION ON DWG 3/Z-111 FOR FLOORS 2-5, AND ON DWG 5/Z-111 FOR FLOORS 6-10
- BUILDING FOOTPRINT DIMENSIONS FOR FLOORS 2-4 SHOWN ON LOT COVERAGE BY ZONING DISTRICT DIAGRAM 10Z-111
- UNIT DENSITY BY ZONING DISTRICT DIAGRAMS A/Z-111 & B/Z-111 ARE FACTORED IN OVERALL UNIT DENSITY CALCULATIONS PER ZR 23-22, ZR 23-224 & ZR 24-20

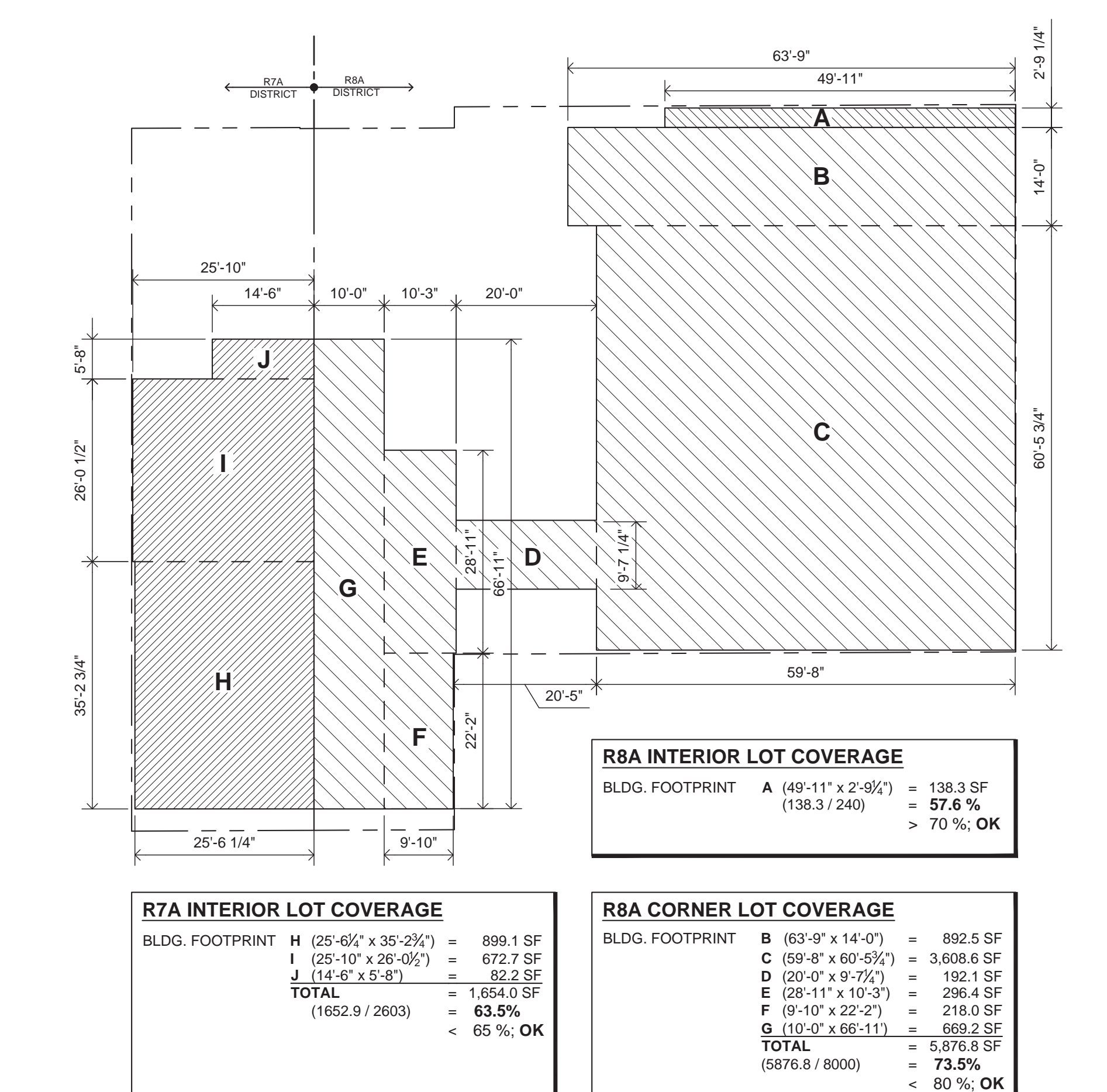
2ND-4TH FLOOR - SUFFOLK WING
UNIT DENSITY DIAGRAMS BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



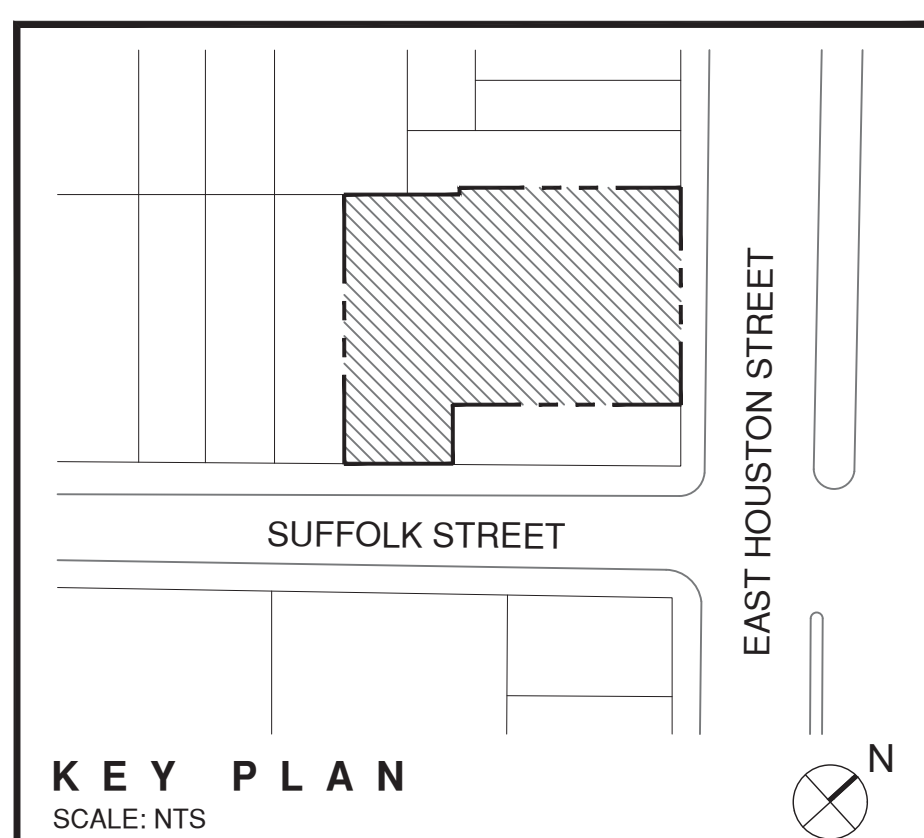
5TH FLOOR - SUFFOLK WING
UNIT DENSITY DIAGRAMS BY ZONING DISTRICT
SCALE: 1/16"=1'-0"



9 LOT AREA BY ZONING DISTRICT DIAGRAM
SCALE: 1/16"=1'-0"



10 LOT COVERAGE BY ZONING DISTRICT DIAGRAM
SCALE: 1/16"=1'-0"



10/14/16	HPD REVISION 1
07/12/16	HPD FILING SET
08/14/15	DOB FILING SET

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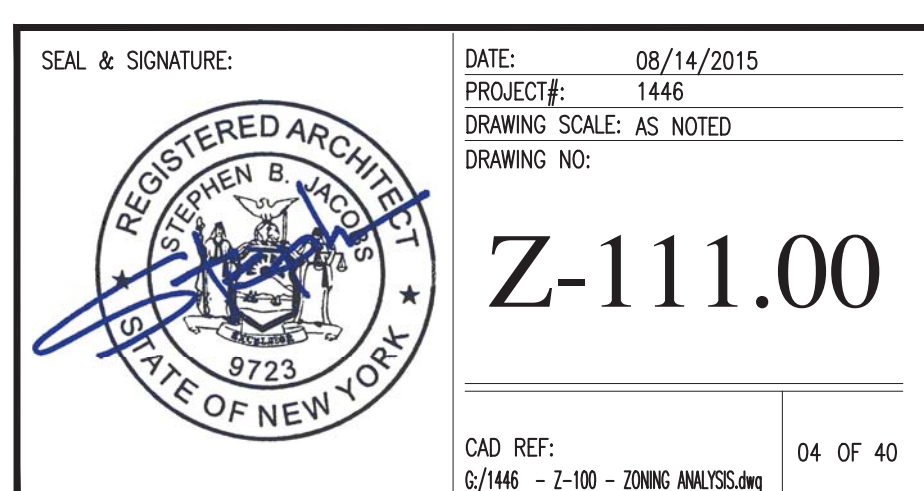
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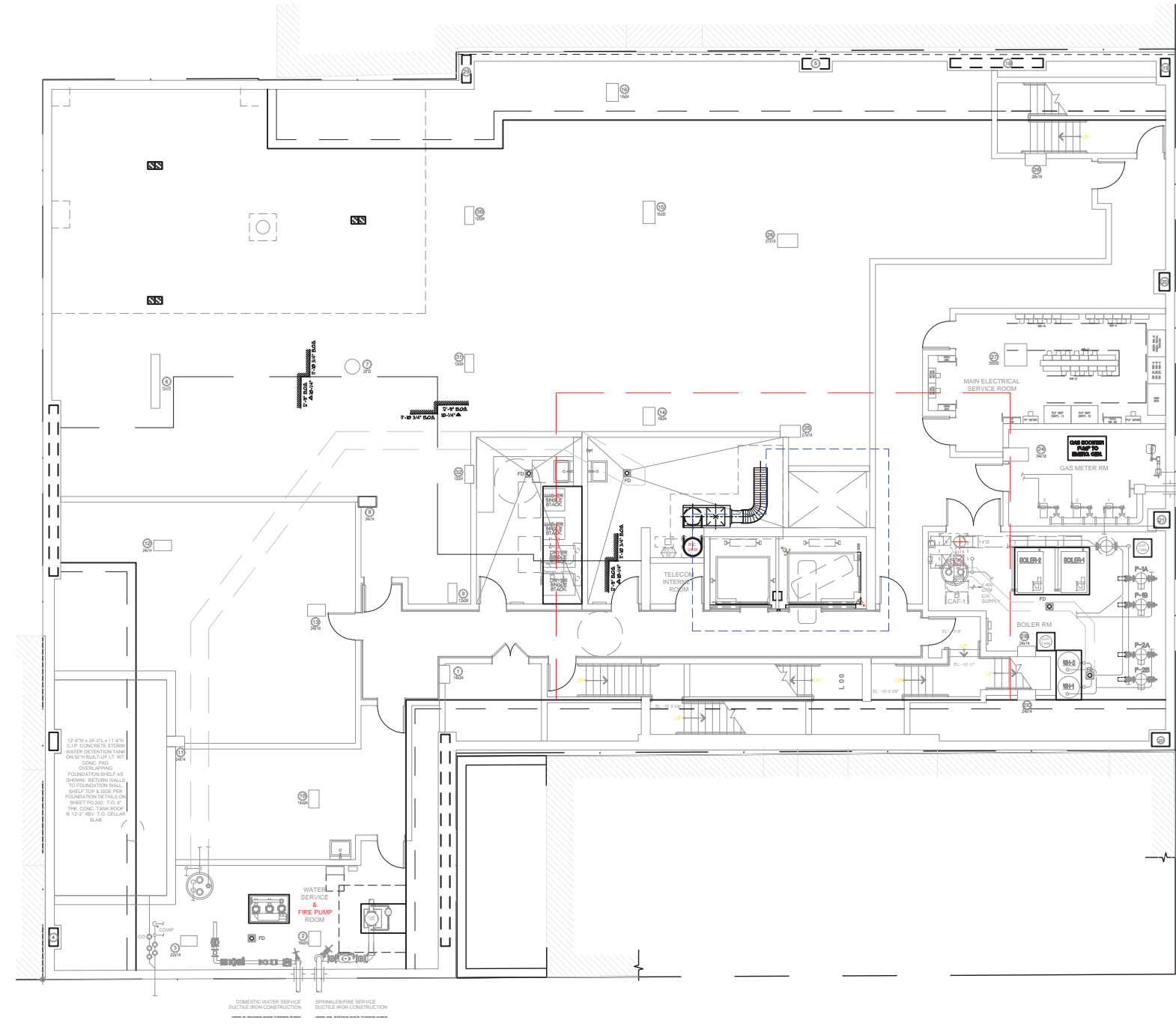
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Drawing Title:
ZFA, LOT COVERAGE & DENSITY
DIAGRAMS BY ZONING DISTRICT

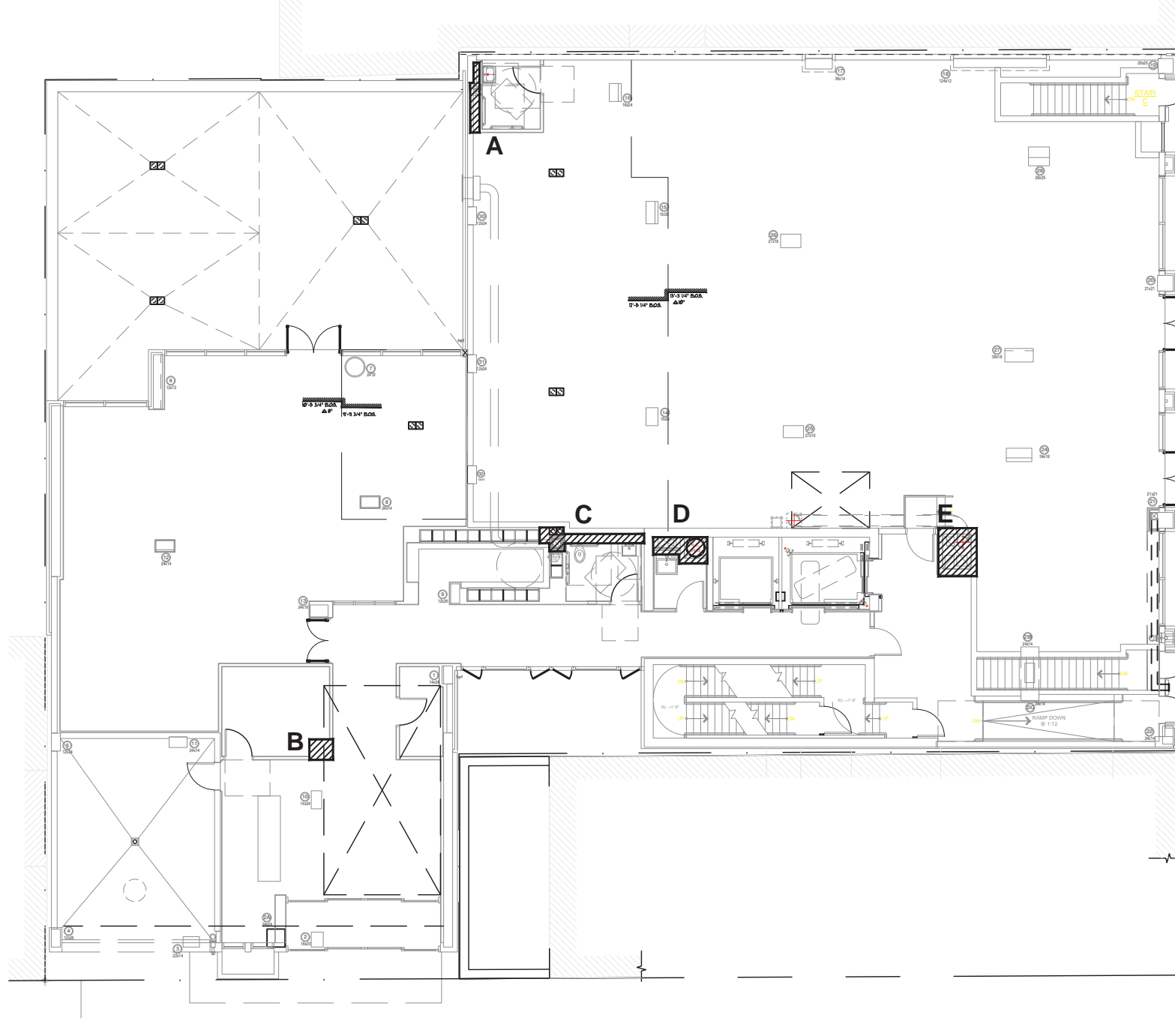


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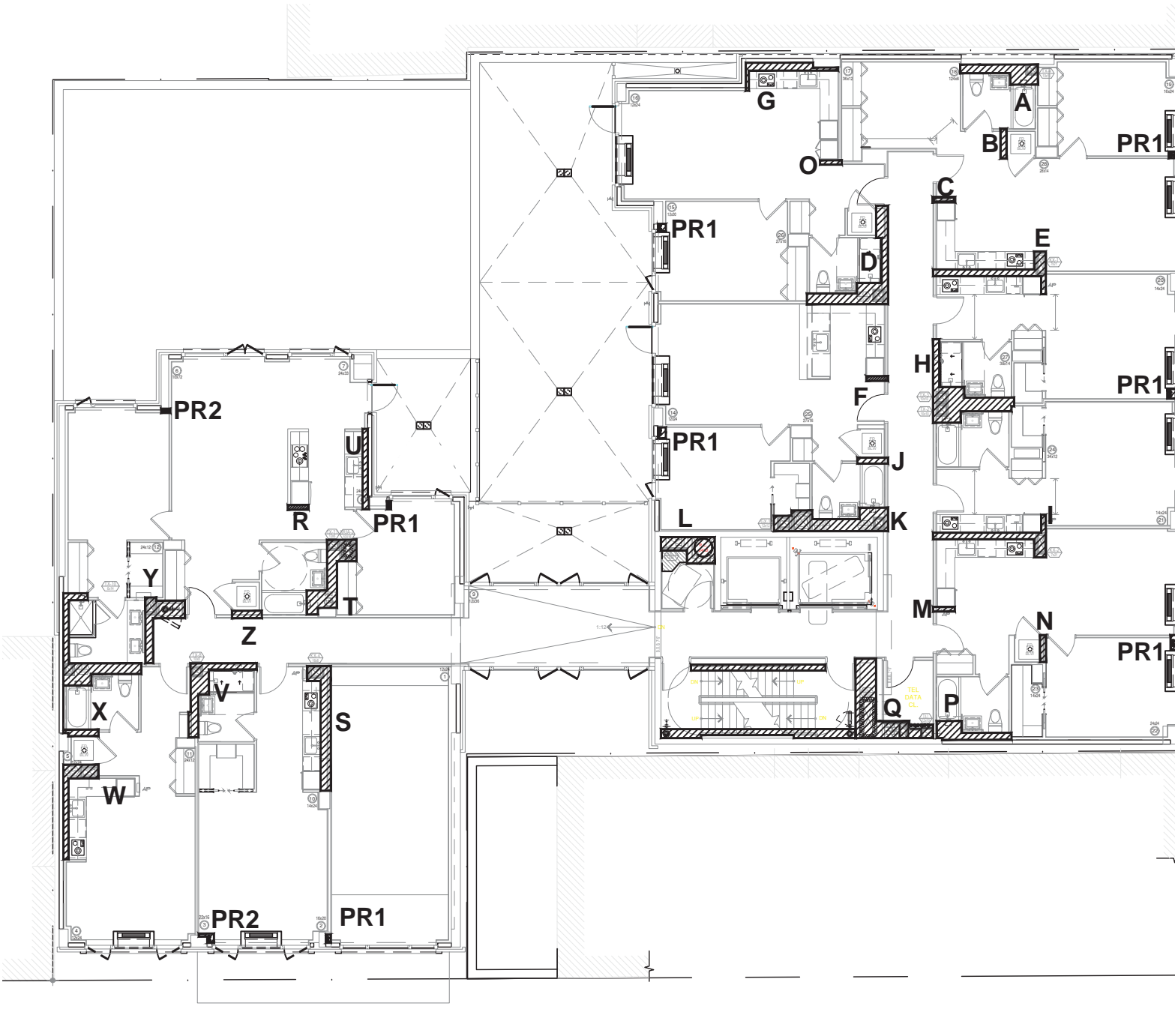
04 OF 40



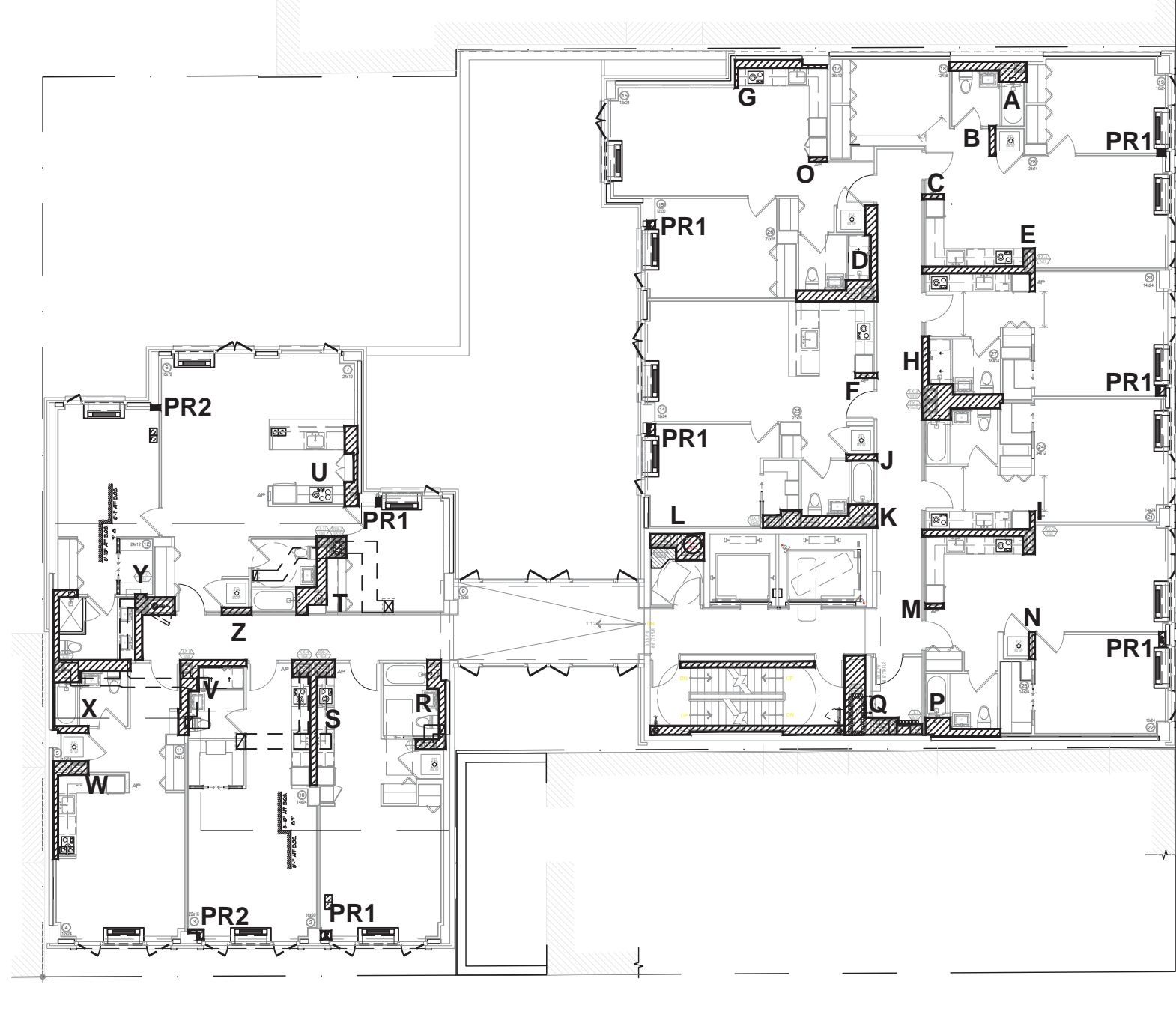
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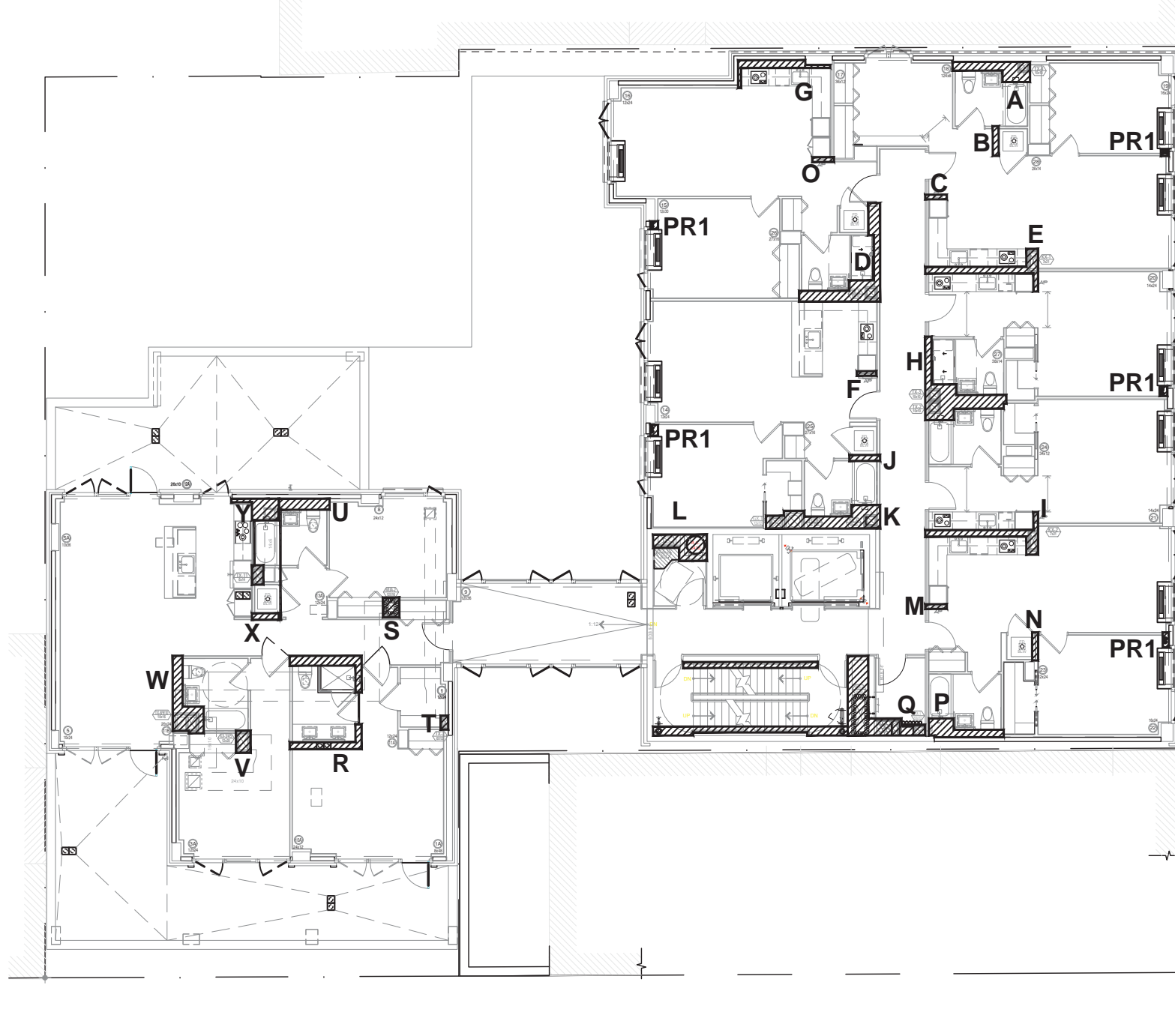
2 1ST FLOOR MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



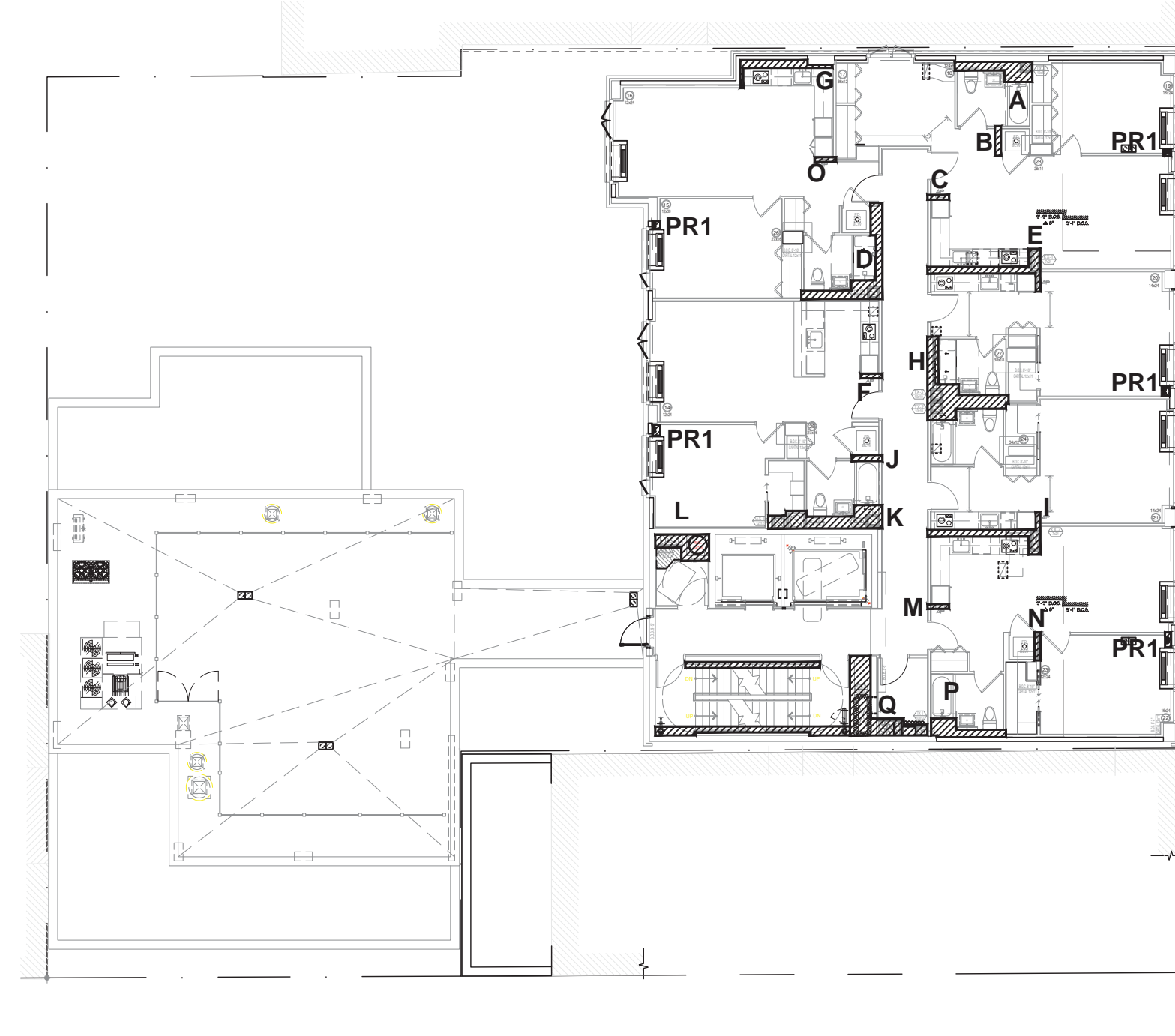
3 2ND FLOOR MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



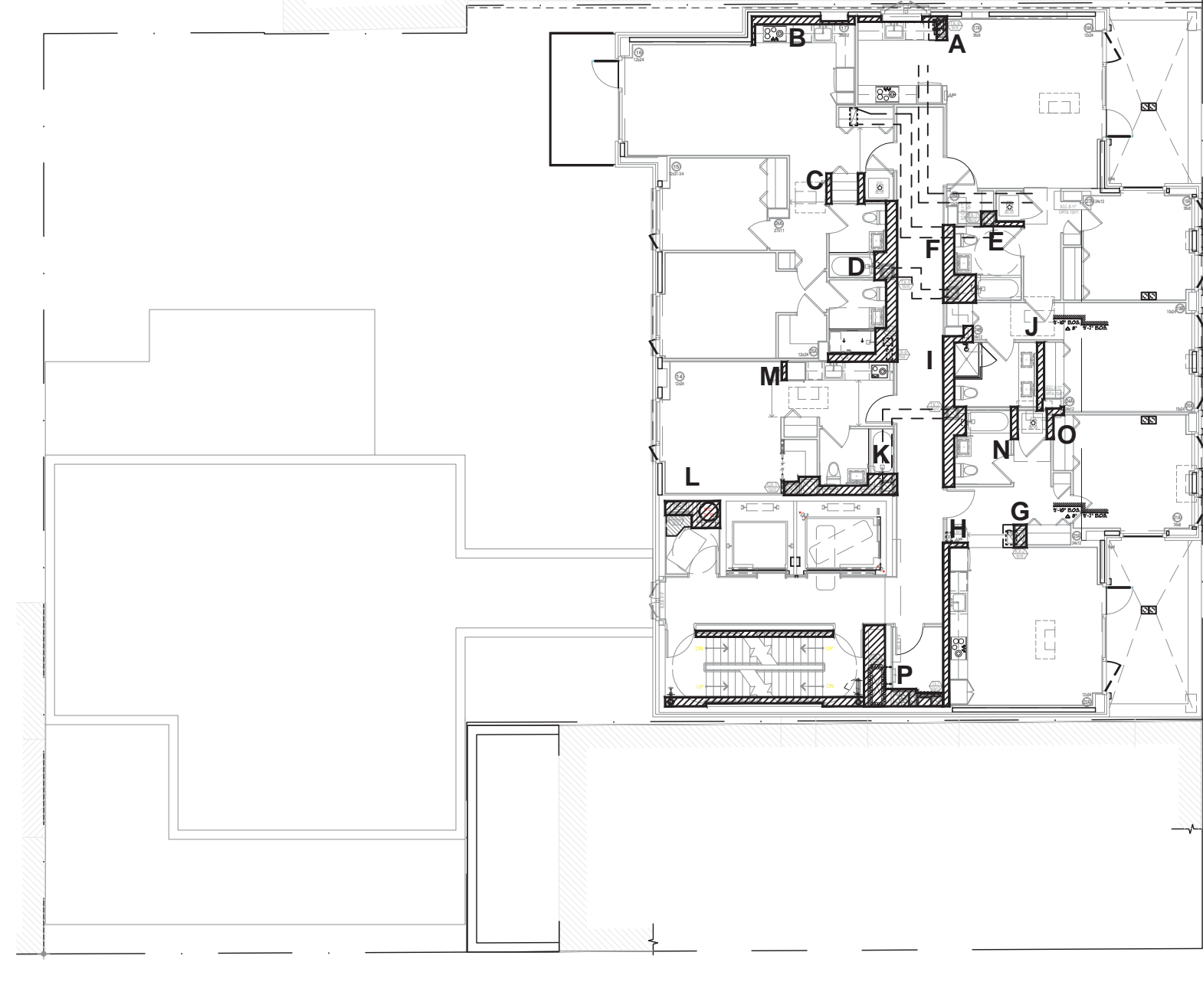
4 3RD-7TH FLOOR MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



5 8TH FLOOR MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



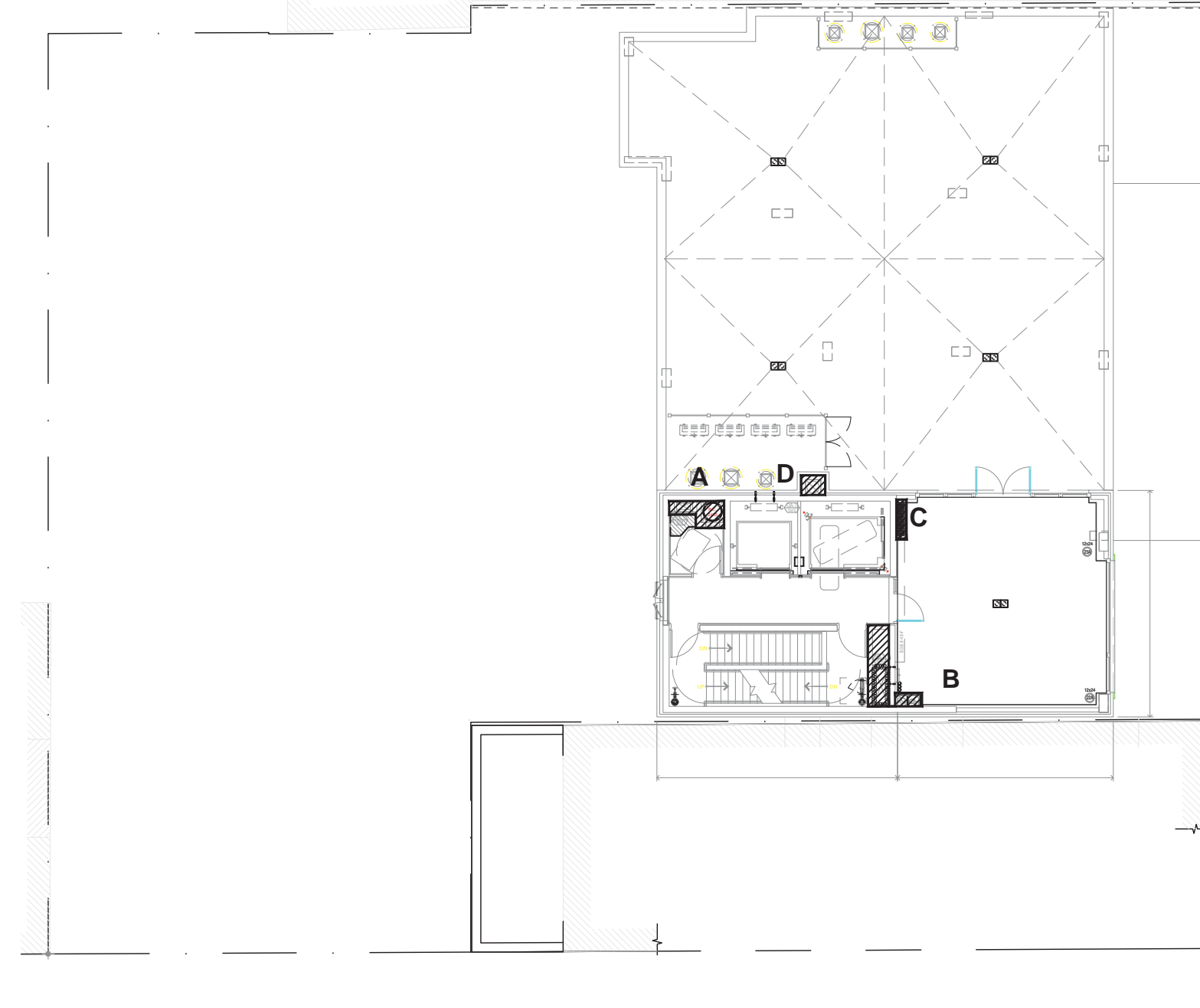
6 9TH FLOOR MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



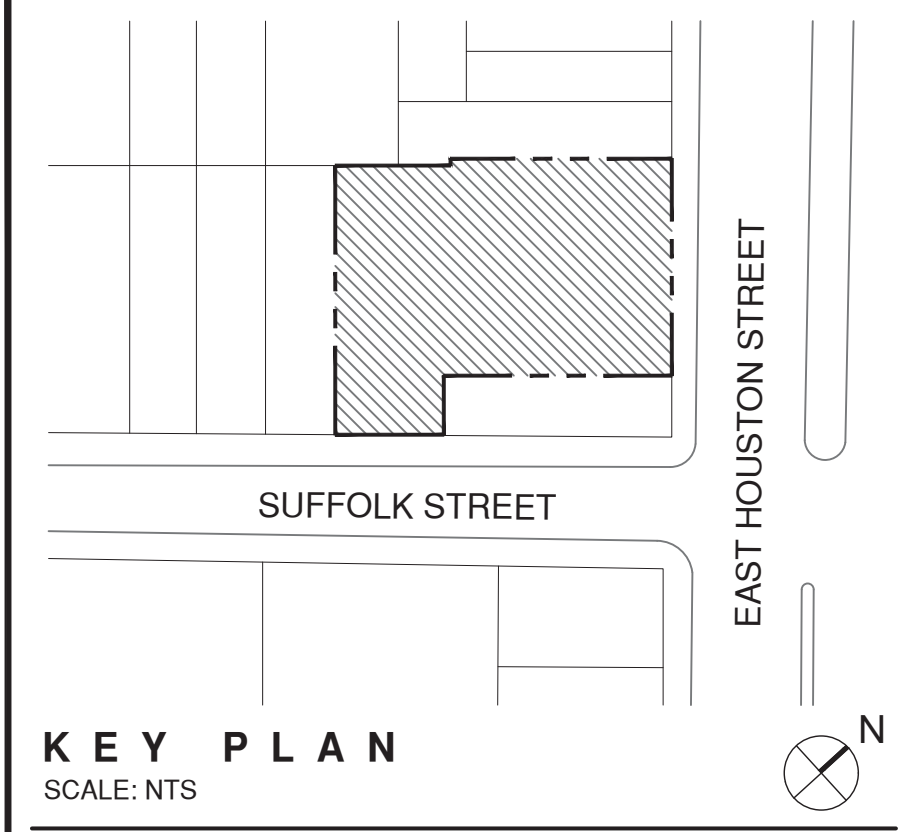
7 10TH FLOOR MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



8 11TH-13TH FLOOR MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



9 ROOFTOP MECH. DEDUCTIONS
SCALE: 1/16"=1'-0"



KEY PLAN
SCALE: NTS

10/14/16	HPD REVISION 1
-	07/12/16 HPD FILING SET

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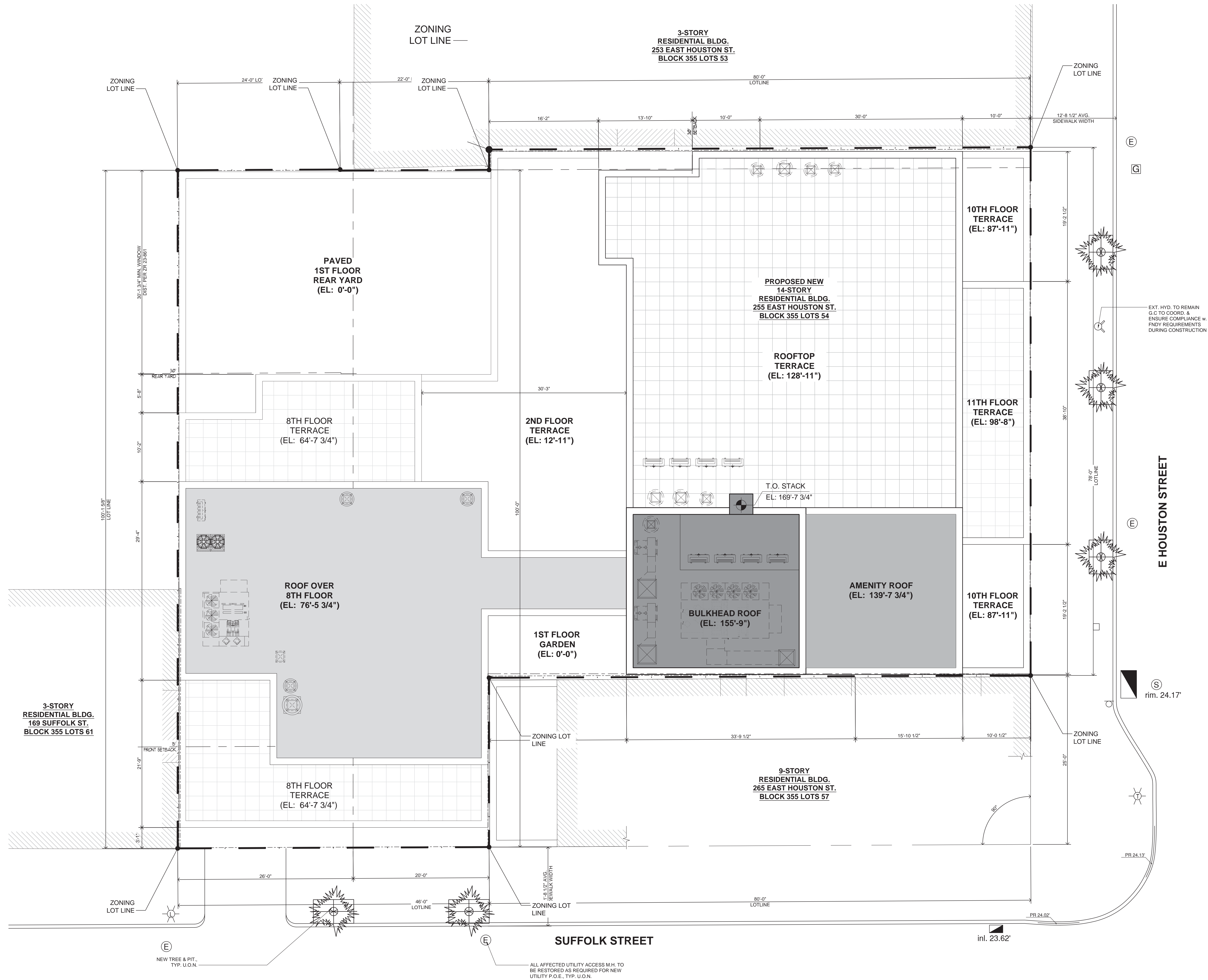
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255 EAST HOUSTON ST.
MANHATTAN, N.Y. 10002

Drawing Title:
MECHANICAL DEDUCTIONS

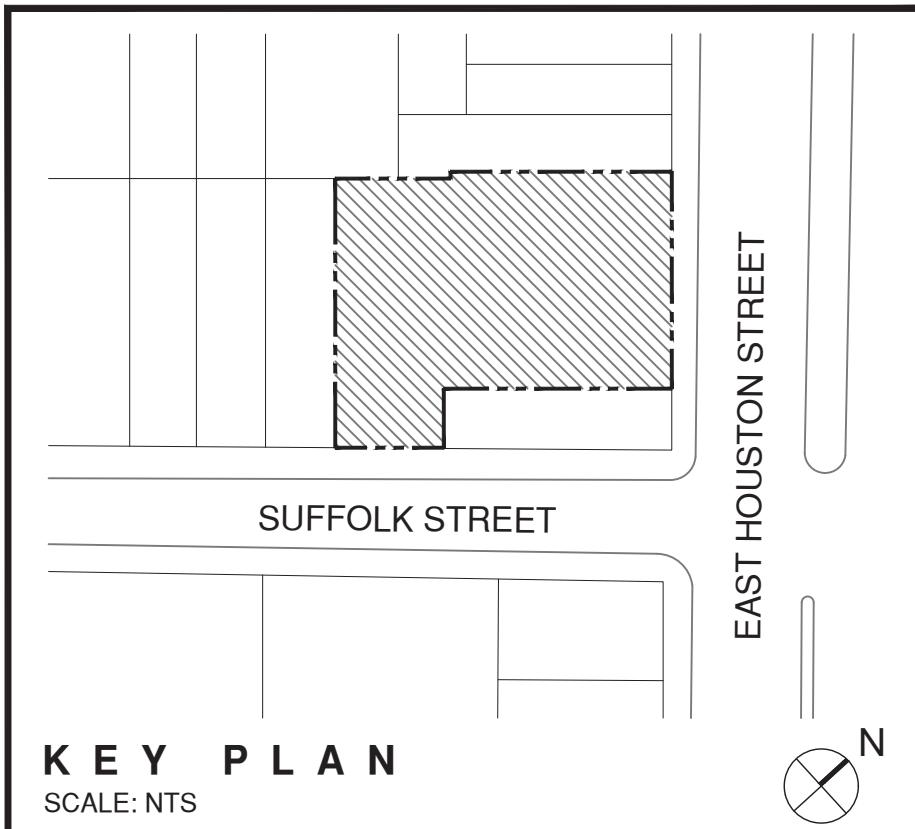
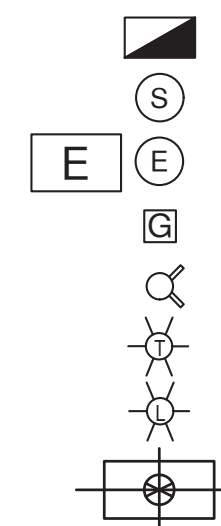
SEAL & SIGNATURE:
REGISTERED ARCHITECT
STEPHEN B. JACOBS
STATE OF NEW YORK
8723
DATE: 08/14/2015
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: Z-112.00
DOW: 6/14/16 - 2:10 - 2:00 PM 08/15/16
04 OF 40



1 SITE PLAN
SCALE: 3/16" = 1'-0"

LEGEND

- EXISTING CATCH BASIN TO REMAIN
- SANITARY MANHOLE TO REMAIN
- ELEC. VAULT/MANHOLE TO REMAIN
- GAS VALVE TO REMAIN
- EXISTING FIRE HYDRANT TO REMAIN
- TRAFFIC SIGNAL POST TO REMAIN
- EXISTING LIGHT POLE TO REMAIN
- NEW TREE PLANTING



10/14/16	HPD REVISION 1
- 07/12/16	HPD FILING SET
- 08/14/15	DOB FILING SET

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Architects and Planners
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New York, N.Y. 10016
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Interior Designers
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255 EAST HOUSTON ST.
MANHATTAN, N.Y. 10002

Drawing Title:
SITE PLAN

SEAL & SIGNATURE:

DATE: 08/07/2015
PROJECT: 1446
DRAWING SCALE: SITE PLAN
DRAWING NO.:
A-010.00
SHEET: 5 OF 40

2014 BUILDING CODE ANALYSIS

USE AND OCCUPANCY CLASSIFICATION - BC 301			BC 508.2.4 SEPARATION OF OCCUPANCY		
R-2	RESIDENTIAL RECREATION SPACE (ACCESSORY TO R-2)	BC 310	NO SEPARATION IS REQUIRED BETWEEN ACCESSORY OCCUPANCIES AND THE MAIN OCCUPANCY.		
B	BUSINESS (UNDER SEPARATE FILING)	BC 304	BC 508.3.1 NON-SEPARATED OCCUPANCY CLASSIFICATION		
S-2	STORAGE (ACCESSORY TO R-2)	BC 311	NON-SEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH BC 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE.		
U	UTILITY (ACCESSORY TO R-2)	BC 312	BC 508.3.1 NON-SEPARATED OCCUPANCY CLASSIFICATION (CONT)		
HIGH RISE BUILDINGS: BC 403			IN ADDITION, THE MOST RESTRICTIVE PROVISIONS OF BC CH. 9 WHICH APPLY TO THE NON-SEPARATED OCCUPANCIES SHALL APPLY TO THE TOTAL NON-SEPARATED OCCUPANCY AREA. WHERE NON-SEPARATED OCCUPANCIES OCCUR IN A HIGH-RISE BUILDING, THE MOST RESTRICTIVE REQUIREMENTS OF BC 403 WHICH APPLY TO THE NON-SEPARATED OCCUPANCIES SHALL APPLY THROUGHOUT THE HIGH-RISE BUILDING.		
BC 403.2.1	TYPES OF CONSTRUCTION		BC 508.4 SEPARATED OCCUPANCIES		
THE FOLLOWING MODIFICATIONS TO THE MINIMUM FIRE-RESISTANCE RATING OF THE BUILDING ELEMENTS IN TABLE 601 SHALL BE AS FOLLOWS:			BUILDINGS OR PORTIONS OF BUILDINGS THAT COMPLY WITH THE PROVISIONS OF THIS SECTION SHALL BE CONSIDERED AS SEPARATED OCCUPANCIES..		
2.	FOR HIGH RISE BUILDINGS NOT GREATER THAN 420 FEET IN BUILDING HEIGHT, AND CONSTRUCTED TO MEET THE FIRE-RESISTANCE RATING REQUIREMENTS OF TYPE IB OR IIA CONSTRUCTION, THE REQUIRED FIRE-RESISTANCE RATING OF COLUMNS SUPPORTING FLOORS SHALL BE CONSTRUCTED TO MEET TYPE IA CONSTRUCTION		TABLE 508.4		
PROVIDED: YES - SEE TABLE 601			USE		
BC 403.2.2	SEISMIC CONSIDERATIONS		REQUIRED SEPARATION OF OCCUPANCIES (HOURS)		
PROVIDED: YES - SEE STRUCTURAL DRAWINGS			PROVIDED: YES - FIRE RATED WALLS PROVIDED & BUILDING IS FULLY SPRINKLERED		
BC 403.2.3	IMPACT RESISTANT EXIT ENCLOSURES		INCIDENTAL USES: BC 509		
EXIT ENCLOSURES AND ELEVATORS HOISTWAYS ENCLOSURES SHALL BE CONSTRUCTED OF IMPACT RESISTANT WALLS			TABLE 509		
PROVIDED: YES			ROOM OR AREA		
BC 403.3	AUTOMATIC SPRINKLER SYSTEM REQUIRED		SEPARATION		
PROVIDED: YES			2 HOUR, OR 1 HOUR & PROVIDE AUTOMATIC FIRE-EXTINGUISHING SYSTEM		
BC 403.4.1	AUTOMATIC SMOKE DETECTION REQUIRED		ROOMS CONTAINING FIRE PUMPS IN HIGH-RISE BUILDINGS		
PROVIDED: YES			2 HOUR; 2HR & SPRINKLER; YES		
BC 403.4.2	FIRE ALARM SYSTEM REQUIRED		BC 509.1		
PROVIDED: YES			GENERAL		
BC 403.4.3	EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM REQUIRED		INCIDENTAL USES LISTED IN TABLE 509 AND LOCATED WITHIN SINGLE OCCUPANCY OR MIXED OCCUPANCY BUILDINGS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION. INCIDENTAL USES ARE ANCILLARY FUNCTIONS ASSOCIATED WITH A GIVEN OCCUPANCY THAT GENERALLY POSE A GREATER LEVEL OF RISK TO THAT OCCUPANCY AND ARE LIMITED TO THOSE USES LISTED IN TABLE 509		
PROVIDED: YES			BC 509.2 OCCUPANCY CLASSIFICATION		
BC 403.4.4	EMERGENCY RESPONDER RADIO SYSTEM REQUIRED		INCIDENTAL USES SHALL NOT BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. INCIDENTAL USES SHALL BE INCLUDED IN THE BUILDING OCCUPANCIES WITHIN WHICH THEY ARE LOCATED. SEPARATION		
PROVIDED: YES			BC 509.3 AREA LIMITATIONS		
BC 403.4.5	FIRE COMMAND CENTER REQUIRED		INCIDENTAL USES SHALL NOT OCCUPY MORE THAN 10 PERCENT OF THE BUILDING IN WHICH THEY ARE LOCATED.		
PROVIDED: YES - IN LOBBY			BC 509.4 SEPARATION AND PROTECTION		
BC 403.4.6	POST-FIRE SMOKE PURGE		THE INCIDENTAL USES LISTED IN TABLE 509 SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING OR EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM, OR BOTH, IN ACCORDANCE WITH THE PROVISIONS OF THAT TABLE.		
A POST-FIRE SMOKE PURGE SYSTEM SHALL BE INSTALLED IN ACCORDANCE W. SECTION 916			BC 509.4.1 SEPARATION		
BC 916.4.1.2	POST-FIRE SMOKE PURGE SYSTEM		WHERE TABLE 509 SPECIFIES A FIRE-RESISTANCE-RATED SEPARATION, THE INCIDENTAL USES SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY A FIRE BARRIER CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR A HORIZONTAL ASSEMBLY CONSTRUCTED IN ACCORDANCE WITH SECTION 712, OR BOTH.		
A POST-FIRE SMOKE PURGE SYSTEM IS NOT REQUIRED WHERE ALL EXIT ENCLOSURES ARE CONSTRUCTED AS SMOKEPROOF ENCLOSURES IN ACCORDANCE W. BC 1022.9. SEE ALSO BC 403.4.6			TYPE IB CLASSIFICATION: BC 601		
PROVIDED: YES			TABLE 601		
BC 403.4.7.3	STANDBY POWER REQUIRED FOR R-2 OCCUPANCIES GREATER THAN 125' BUILDING HEIGHT 140'-0"; PROVIDED: YES		FIRE-RESISTANCE RATING REQUIRED FOR BUILDING ELEMENTS (HOURS)		
BC 403.5.3	STAIRWAY DOOR OPERATION		BUILDING ELEMENT		
A DOOR LOCKED FROM THE STAIR SIDE MAY BE PERMITTED PROVIDED THAT SUCH DOOR IS EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM FOR OPENING IN THE EVENT OF THE ACTIVATION OF ANY AUTOMATIC FIRE DETECTION SYSTEM, OR WHEN ANY ELEVATOR RECALL IS ACTIVATED OR WHEN ANY SIGNAL IS RECEIVED FROM THE FIRE COMMAND CENTER.			TYPE I		
PROVIDED: YES - DOORS ARE EQUIPPED W. AN AUTOMATIC FAIL SAFE SYSTEM			STRUCTURAL FRAME, INCLUDING COLUMNS*, GIRDERS, TRUSSES		
BC 403.5.4	SMOKEPROOF EXIT ENCLOSURES		2, *3 FOR COLUMNS AS PER 403.2.1		
EVERY REQUIRED STAIRWAY SERVING OCCUPIED FLOORS MORE THAN 75 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL COMPLY WITH BC 909.20 AND BC 1022.9			BEARING WALLS		
BC 909.20	SMOKEPROOF ENCLOSURES		EXTERIOR		
WHERE REQUIRED BY BC 1022.9, A SMOKE PROOF ENCLOSURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. WHERE ACCESS TO THE ROOF IS REQUIRED BY THE NEW YORK CITY FIRE CODE, SUCH ACCESS SHALL BE FROM THE SMOKE PROOF ENCLOSURE WHERE A SMOKE PROOF ENCLOSURE IS REQUIRED. SMOKEPROOF ENCLOSURES SHALL CONSIST OF ONE OF THE FOLLOWING SYSTEMS:			INTERIOR		
4. A PRESSURIZED INTERIOR EXIT STAIRWAY CONSTRUCTED IN ACCORDANCE WITH BC 1022.1			NONBEARING WALLS AND PARTITIONS		
PROVIDED: YES - INTERIOR EXIT STAIRWAYS ARE PRESSURIZED			EXTERIOR		
BC 403.5.1	REMOTENESS OF EXIT STAIRWAY ENCLOSURES		INTERIOR		
NA-EXCEPTION: GROUP R-2 OCCUPANCIES			FLOOR CONSTRUCTION		
BC 403.5.3	STAIRWAY DOOR OPERATION		ROOF CONSTRUCTION		
A DOOR LOCKED FROM THE STAIR SIDE MAY BE PERMITTED PROVIDED THAT SUCH DOOR IS EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM FOR OPENING IN THE EVENT OF THE ACTIVATION OF ANY AUTOMATIC FIRE DETECTION SYSTEM, OR WHEN ANY ELEVATOR RECALL IS ACTIVATED OR WHEN ANY SIGNAL IS RECEIVED FROM THE FIRE COMMAND CENTER. SUCH DOOR SHALL BE DEEMED AS OPENABLE FROM THE STAIR SIDE. STAIR REENTRY SIGNS SHALL BE POSTED THROUGHOUT THE STAIRWAY INDICATING THAT REENTRY IS PROVIDED ONLY DURING FIRE EMERGENCIES. SUCH SIGNS SHALL BE IN ACCORDANCE WITH BC 1030.4.2			FIRE SEPARATION DISTANCE (FEET)		
PROVIDED: YES - EXIT STAIRWAY DOORS ARE EQUIPPED W. AUTOMATIC FAIL SAFE SYSTEM.			CLASSIFICATION OF OPENING		
BC 403.5.3.1	STAIRWAY COMMUNICATION SYSTEM		PROTECTED		
A TELEPHONE OR OTHER TWO-WAY COMMUNICATIONS SYSTEM CONNECTED TO AN APPROVED CONSTANTLY ATTENDED STATION SHALL BE PROVIDED AT NOT LESS THAN EVERY FIFTH FLOOR IN EACH STAIRWAY WHERE THE DOORS TO THE STAIRWAY ARE LOCKED IN ACCORDANCE TO BC 403.5.3			TYPE OF CONSTRUCTION		
PROVIDED: YES - TWO-WAY COMMUNICATIONS SYSTEM WILL BE PROVIDED			FIRE SEPARATION DISTANCE (FEET)		
BC 403.5.5	LUMINOUS EGRESS PATH MARKINGS		NO LIMIT		
NA-EXCEPTION: GROUP R-2 OCCUPANCIES			GROUP		
BC 403.6.1	FIRE SERVICE ACCESS ELEVATOR		FIRE-RESISTANCE RATING (HOURS)		
IN BUILDINGS W. AN OCCUPIED FLOOR MORE THAN 120 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, A MINIMUM OF ONE FIRE SERVICE ACCESS ELEVATOR SHALL BE PROVIDED IN ACCORDANCE W. BC 3007			A, B, E, H-4, I, R-1, R-2, U		
PROVIDED: YES - BUILDING HEIGHT 137'-0"			F-1, H-3*, H-5, M, S-1		
BC 403.6.1	FIRE SERVICE ELEVATOR LOBBY		H-1, H-2		
IN BUILDINGS WITH AN OCCUPIED FLOOR MORE THAN 120 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, A MINIMUM OF ONE FIRE SERVICE ACCESS ELEVATOR TO BE PROVIDED PER BC 3007.			F-2, S-2, R-3		
PROVIDED: NO, PER 3007 & EXCEPTION 2.			SHAFT ENCLOSURES: BC 708		
2. A FIRE SERVICE ACCESS ELEVATOR LOBBY SHALL NOT BE REQUIRED ON STORES WITH THE ELEVATOR OPENING TO A CORRIDOR ENCLOSED WITH A FIRE BARRIER, PROVIDED ALL DOORS OPENING INTO THE CORRIDOR ARE SMOKE & DRAFT CONTROLLED DOORS PER BC 715.4.3.1, TESTED PER UL 1784 TEST CONDUCTED WITHOUT THE ARTIFICIAL BOTTOM SEAL.			BC 708.12.1 SMOKE VENTING OF STAIR AND OTHER CLOSED SHAFTS		
PROVIDED: YES - ALL CORRIDOR DOORS, INCLUDING ELEVATOR DOORS, ARE SMOKE & DRAFT CONTROLLED DOORS IN COMPLIANCE WITH BC 715.4.3.1			ALL CLOSED SHAFTS, INCLUDING VERTICAL EXIT ENCLOSURES, HAVING A FLOOR AREA EXCEEDING 4 SQUARE FEET SHALL BE PROVIDED WITH A SMOKE VENT IN ACCORDANCE WITH SECTIONS 708.12.1.1 THROUGH 708.12.1.3		
BC 403.6.3	ELEVATOR LOBBIES		SMOKE AND HEAT VENTS: BC 910		
ELEVATOR LOBBIES SHALL BE PROVIDED IN ACCORDANCE WITH BC 708.14.1 AND BC 708.14.2.			BC 910.3.4 VENT LOCATION		
PROVIDED: NO, PER 708.14.1, EXCEPTION 5:			SMOKE AND HEAT VENTS SHALL BE LOCATED 20 FEET OR MORE FROM ADJACENT LOT LINES AND FIRE WALLS AND 10 FEET OR MORE FROM FIRE BARRIERS. VENTS SHALL BE UNIFORMLY LOCATED WITHIN THE ROOF IN THE AREAS OF THE BUILDING WHERE THE VENTS ARE REQUIRED TO BE INSTALLED BY SECTION 28.2-910.2, WITH CONSIDERATION GIVEN TO ROOF PITCH, DRAFT CURTAIN LOCATION, SPRINKLER LOCATION AND STRUCTURAL MEMBERS.		
5. ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED ON GROUP R-2 OCCUPIED FLOORS.			PROVIDED: YES		
PROVIDED: YES - ALL FLRS. SERVED BY ELEVATORS ARE R-2 OCCUPANCY			OCCUPANT LOAD: BC 1004		
GENERAL HEIGHT AND AREA LIMITATIONS: BC 503			BC 1004.1.1 AREAS WITHOUT FIXED SEATING		
TABLE 503			THE NUMBER OF OCCUPANTS SHALL BE COMPUTED AT THE RATE OF ONE OCCUPANT PER UNIT OF AREA AS PRESCRIBED IN TABLE 1004.1.1.		
PROPOSED BUILDING IS CONSTRUCTION TYPE			TABLE 1004.1.1		
2HR PROTECTED CONSTRUCTION			MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT		
GROUP			FUNCTION OF SPACE		
HT (feet)			FLOOR AREA (S.F.) / OCCUPANT		
S (stories)			RESIDENTIAL (R-2)		
UL (160')			BUSINESS AREAS (B)		
UL (160')			EXERCISE ROOMS (ACC. TO R-2)		
UL (160')			ACC. STORAGE, MECH. EQUIP. RMS.		
UL (160')			STORAGE (S-2)		
e. WHEN BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH BC 903.3.1.1, SHALL BE UNLIMITED IN HEIGHT			MINIMUM PLUMBING FACILITIES: PC 403		
MIXED USE AND OCCUPANCY: BC 508			TABLE 403.1		
BC 508.2 ACCESSORY OCCUPANCIES			MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES		
ACCESSORY OCCUPANCIES ARE THOSE OCCUPANCIES THAT ARE ANCILLARY TO THE MAIN OCCUPANCY OF THE BUILDING OR PORTION THEREOF. ACCESSORY OCCUPANCIES SHALL COMPLY WITH THE PROVISIONS OF BC 508.2.1 THRU BC 508.2.4			CLASS.		
BC 508.2.1 AREA LIMITATIONS			OCC. DESCRIPTION		
AGGREGATE ACCESSORY OCCUPANCIES SHALL NOT OCCUPY AREA LIMITATIONS MORE THAN 10 PERCENT OF THE BUILDING AREA OF THE STORY IN WHICH THEY ARE LOCATED AND SHALL NOT EXCEED THE TABULAR VALUES IN TABLE 503 WITHOUT BUILDING AREA INCREASES IN ACCORDANCE WITH BC 508 FOR SUCH ACCESSORY OCCUPANCIES			W.C.		
BC 508.2.2 OCCUPANCY CLASSIFICATION			LAV.		
ACCESSORY OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH BC 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE.			BATH & DRINK. FIN.		
			M. F.		
			SHWR.		
			M. F.		
			D.U.		
			D.U.		
			SEE PC1 SERVICE		
			SINK		
			YES		
			SEPARATE FACILITIES		
			WHERE PLUMBING FIXTURES ARE REQUIRED, SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.		
			EXCEPTIONS:		
			1. IN STRUCTURES OR TENANT SPACES WHERE COMBINED EMPLOYEE AND PUBLIC TOILET FACILITIES ARE PROVIDED IN ACCORDANCE W. PC 403.3, SEPARATE FACILITIES SHALL NOT BE REQUIRED WHERE THE TOTAL NUMBER OF EMPLOYEES, CUSTOMERS, PATRONS & VISITORS IS LESS THAN 30		

BC 1008.1.6	LANDINGS AT DOORS
LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR THE DOOR, WHICHEVER IS GREATER. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. AT ANY STAIRWAY LANDING, OR WHEN A DOOR LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN 75 PERCENT OF ITS REQUIRED WIDTH. LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES.	
STAIRWAYS: BC 1009	
BC 1009.1	STAIRWAY WIDTH
THE WIDTH OF STAIRWAYS SHALL BE DETERMINED AS SPECIFIED IN SECTION 1005.1, BUT SUCH WIDTH SHALL NOT BE LESS THAN 44 INCHES.	
PROVIDED: YES	
BC 1009.2	HEADROOM
STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 84 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS, SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY & LANDING. PROJECTIONS INTO THE REQUIRED WIDTH SHALL NOT BE LIMITED ABOVE THE MINIMUM HEADROOM HEIGHT	
EXCEPTIONS:	
1. IN GROUP R-2 & R-3 OCCUPANCIES, STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES	
PROVIDED: YES	
BC 1009.4.2	RISER HEIGHT AND TREAD DEPTH
STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM.	
EXCEPTION:	
5.2 IN GROUP R-2 OCCUPANCIES, THE MAXIMUM RISER HEIGHT SHALL BE 7 1/2 INCHES, AND THE MINIMUM TREAD DEPTH SHALL BE 9 1/2 INCHES PLUS NOSING	
EXIT ACCESS: BC 1009	
BC 1014.3	COMMON PATH OF EGRESS TRAVEL
IN OCCUPANCIES OTHER THAN GROUPS H-1, H-2 AND H-3, THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75 FEET.	
EXCEPTIONS:	
2. WHERE A TENANT SPACE IN GROUP B, S & U OCCUPANCIES HAS AN OCCUPANT LOAD OF NOT MORE THAN 30, THE LENGTH OF A COMMON PATH OF EGRESS TRAVEL, IN GROUP B, F & S OCCUPANCIES SHALL NOT BE MORE THAN 100 FT.	
3. THE LENGTH OF A COMMON PATH OF EGRESS TRAVEL, IN A GROUP R-2 OCCUPANCY SHALL NOT BE MORE THAN 125 FT. PROVIDED THAT THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH BC 903.1.1 OR BC 903.1.2	
EXIT AND EXIT ACCESS DOORWAYS: BC 1015	
BC 1015.2.1	TWO EXITS OR EXIT ACCESS DOORWAYS
WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN EXITS OR EXIT ACCESS DOORWAYS	
EXCEPTIONS:	
3. R-2 OCCUPANCIES	
IN GROUP R-2 OCCUPANCIES, WHERE STAIRS ARE ENCLOSED IN WALLS HAVING AT LEAST 2-HOUR FIRE-RESISTANCE RATING AND CONSTRUCTED OF MASONRY OR MASONRY EQUIVALENT IN ACCORDANCE W. DEPARTMENT RULES:	
3.1 THE EXIT DOORS TO SUCH STAIRS SHALL BE PLACED A DISTANCE APART EQUAL TO NO LESS THAN 15 FEET	
3.2 SUCH STAIRS SHALL BE PERMITTED TO SHARE COMMON WALLS, FLOORS, CEILINGS OR SCISSOR STAIR ASSEMBLIES OR OTHER ENCLOSURES PROVIDED THAT THE CONSTRUCTION SEPARATING THE STAIRS IS ALSO OF AT LEAST 2-HOUR FIRE-RESISTANCE RATING AND CONSTRUCTED OF MASONRY OR MASONRY EQUIVALENT IN ACCORDANCE W. DEPARTMENT RULES.	
EXIT ACCESS TRAVEL DISTANCE: BC 1016	
BC 1016.1	TRAVEL DISTANCE LIMITATIONS
EXITS SHALL BE SO LOCATED ON EACH STORY SUCH THAT THE MAXIMUM LENGTH OF EXIT ACCESS TRAVEL, MEASURED FROM THE MOST REMOTE POINT WITHIN A STORY ALONG THE NATURAL AND UNOBSTRUCTED PATH OF EGRESS TRAVEL TO AN EXTERIOR EXIT DOOR AT THE LEVEL OF EXIT DISCHARGE, AN ENTRANCE TO A VERTICAL EXIT ENCLOSURE, AN EXIT PASSAGEWAY, A HORIZONTAL EXIT, AN EXTERIOR EXIT STAIRWAY OR AN EXTERIOR EXIT RAMP, SHALL NOT EXCEED THE DISTANCES GIVEN IN TABLE 1016.1	
TABLE 1016.1	
EXIT ACCESS TRAVEL DISTANCE	
OCCUPANCY	
WITH SPRINKLER SYSTEM (FEET)	
B	
E, F-1, M, R, S-1	
200'	
F-2, S-2, U	
250'	
b. BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH BC 903.1.1.1 OR BC 903.1.2. SEE BC 903 FOR OCCUPANCIES WHERE SPRINKLER SYSTEMS ACCORDING TO BC 903.1.2 ARE PERMITTED.	
c. BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH BC 903.1.1.1	
CORRIDORS: BC 1018	
BC 1018.1	CONSTRUCTION
CORRIDORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. INTERIOR CORRIDOR WALLS REQUIRED TO BE FIRE-RESISTANCE RATED SHALL COMPLY WITH SECTION 709 FOR FIRE PARTITIONS. PUBLIC CORRIDOR WALLS SHALL COMPLY WITH SECTION 707 FOR FIRE BARRIERS	
BC 1018.1.2	PUBLIC CORRIDORS
PUBLIC CORRIDORS SHALL BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 1018.1.2	
TABLE 1018.1.2	
PUBLIC CORRIDOR FIRE-RESISTANCE RATING	
GROUP	
FIRE-RESISTANCE RATING (HOURS)	
A, E, M, S, U	
1	
B	
1*	

ACCESSIBILITY REFERENCES & STANDARDS

HUD SECTION 504 OF THE REHABILITATION ACT OF 1973

1984 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

1991 FAIR HOUSING ACT (FHA)

2003 ICC/ANSI A117.1 - SAFE HARBOR

2010 FEDERAL ADA ACCESS GUIDELINES (ADAAG)

NYC BUILDING CODE 2014 - CHAPTER 11 & APPENDIX P

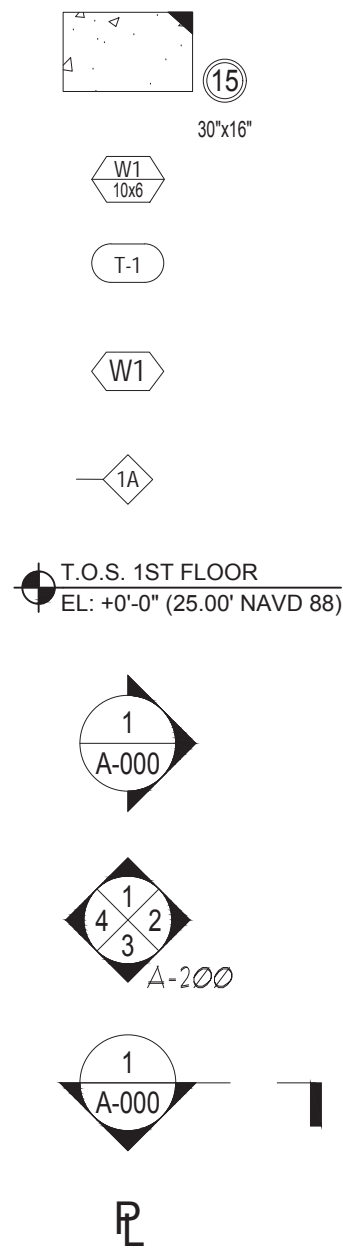
BC 1105 PUBLIC ENTRANCES

PUBLIC ENTRANCES: 100% ACCESSIBLE
PROVIDED: YES, MAIN ENTRANCE ON SUFFOLK STREET
(SEE 1ST FLOOR PLAN, DWG A-101)

LIST OF ABBREVIATIONS

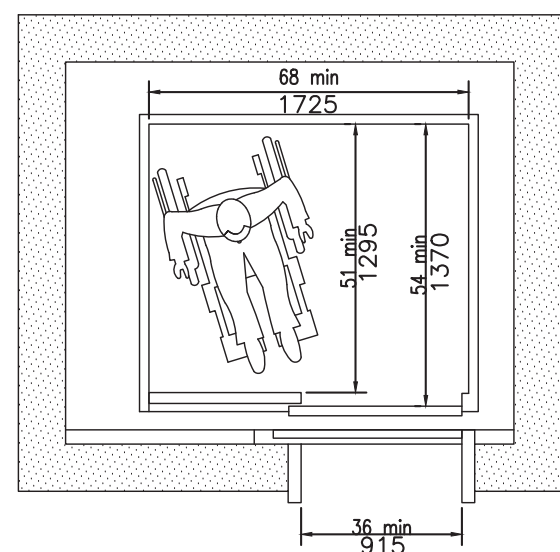
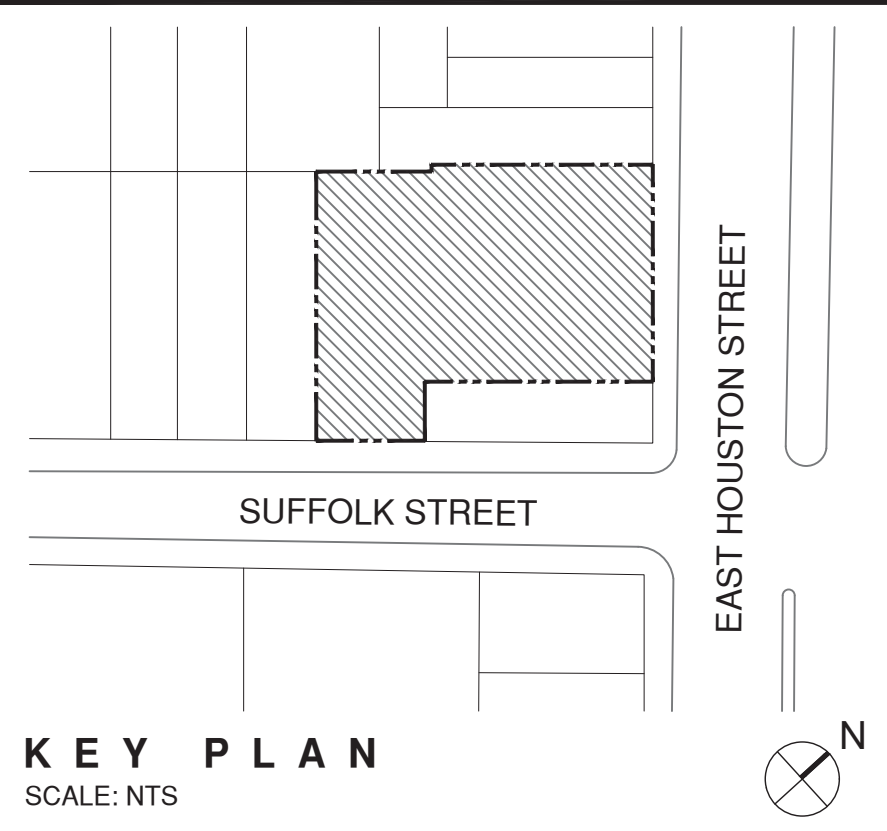
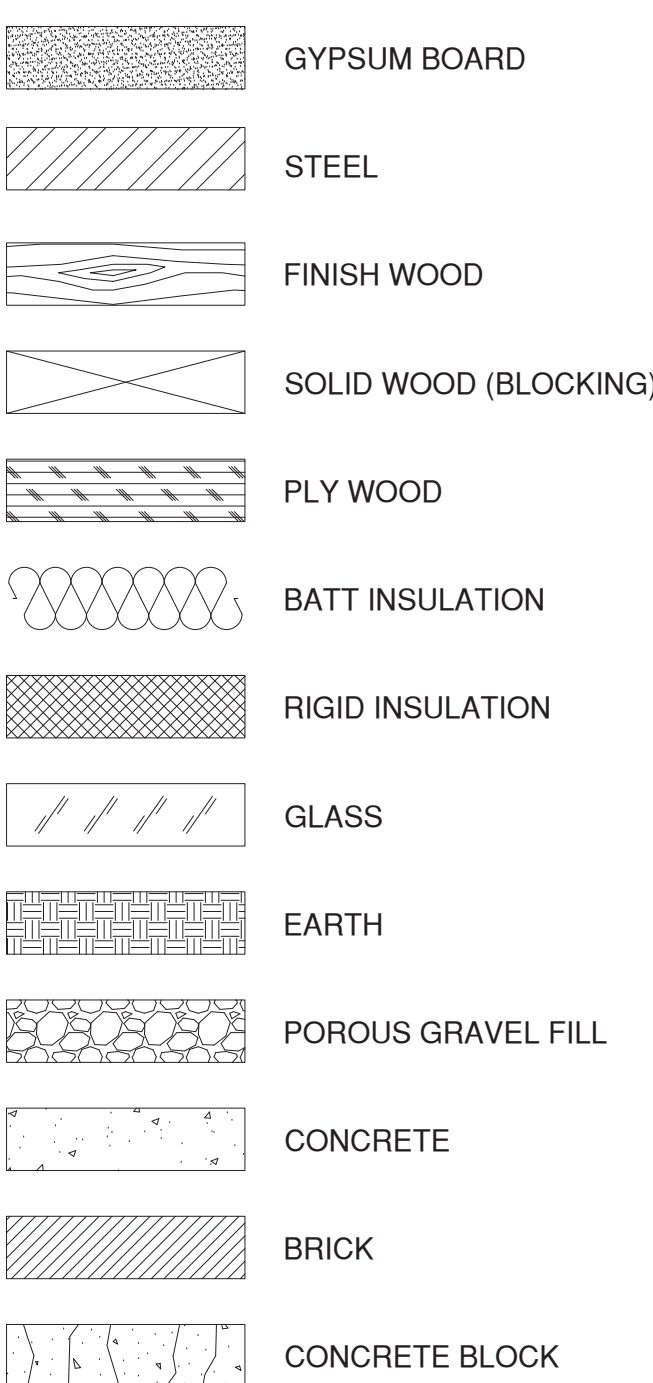
ACT	ACOUSTICAL TILE	FHC	FIRE HOSE CABINET	MO	MASONRY OPENING	SQ	SQUARE
AL	ALUMINUM	FIN	FINISHED	MFB	MARBLE	SS	STAINLESS STEEL
ALT	ALTERNATE	FLR	FLOORING	M.S.	MARBLE SADDLE	SGT	STRUCTURAL GLAZED BLOCK/ TILE
AP	ABOVE FINISHED FLOOR	FPA	FIRE ALARM INTERCOM STATION	MTD.	MOUNTED	STC	SOUND TRANSMISSION CONTROL STANDARD
APP	APARTMENT PANEL	FPSC	FIRE PROOF SELF-CLOSING	MTL	METAL	STD	STEEL
A.S.	ALUMINUM SADDLE	FR	FIBERGLASS REINFORCED PANEL	N/A	NOT APPLICABLE	STL	STEEL
B.C.	BRICK COURSE(S)	FS	FIRE STANDPIPE	NIC	NOT IN CONTRACT	T.C.	TOP OF CURB
BD	BOARD	FT	FOOT (FEET)	NOM	NOMINAL	TX	TOILET EXHAUST
BF	BOILER FLUE	GA	GAGE GAUGE	NR	NOT REQUIRED	TEL	TELEPHONE
BOT	BOTTOM	UL#	UNITED LAB. FIRE-RATED DESIGNATION	NTS	NOT TO SCALE	THK	THICKNESS
BLDG	BUILDING	GAL. GALV	GALVANIZED	O.C.	ON CENTER(S)	T.O.S.	TOP OF SLAB
CBB	CEMENT BACKER BOARD	GFI	GROUND FAULT INTERRUPT	OCC.	OCCUPANT(S)	TP.	TOILET PAPER
CL	CLOSET	GLASS	GLASS	PART.	PARTITION	TPE	TEXTURED PAINT FINISH
CLG	CEILING	GW	GYPSUM WALL BOARD	P.C.	PANTRY CLOSET	T.S.P.	TEXTURED SPRAY PAINT
CLR	CLEARANCE	GYP. BD.	GYPSUM BOARD	PPB	PRIMED PARTICLE BOARD	TXF	TOILET EXHAUST FAN
COL	COLUMN	HC	HOLLOW CORE	PR	POWDER ROOM, PAIR	TV	TELEVISION
CONC	CONCRETE	HCW	HOLLOW CORE WOOD	PT	POINT, PAINT	TYP	TYPICAL
CONT	CONTINUOUS	HDW	HARDWARE	PT-EGS	PAINT, EGG SHELL SHEEN	U.O.N.	UNLESS OTHERWISE NOTED
CMU	CONCRETE MASONRY UNIT	HCM	HOLLOW CORE METAL	PT-FL	PAINT, FLAT SHEEN	B.O.S.	BOTTOM OF SLAB
CPT	CARPET	HOR	HORIZONTAL	PT-SG	PAINT, SEMI-GLOSS SHEEN	B.O.B.	BOTTOM OF BEAM
CS	CORRIDOR SUPPLY	HP	HIGH POINT	QT	QUARRY TILE	VB	VINYL BASE
CT	CERAMIC TILE	HR	HOURS	RAD	RADIUS	VCJ	VERTICAL CONTROL JOINT
DIAM	DIAMETER	H.R.	HANDRAIL	REQ.	REQUIRED	VCT	VINYL COMPOSITION FLOOR TILE
DIM	DIMENSION	HT	HEIGHT	REF	REFRIGERATOR	VIF	VERIFY IN FIELD
DR	DOOR	HVAC	HEATING/VENTILATING/AIR CONDITIONING	RD	ROOF DRAIN	VWC	VINYL WALL COVERING
DTL	DETAIL	IN	INCH (ES)	REQ.	REQUIRED	WC	WATER CLOSET
DWG	DRAWING	INT	INTERIOR	REV	REVISION(S), REVISED	W/D	WASHER/DRYER
EL	ELEVATION	INV	INVERT	RF	RESTAURANT FLUE	WD	WOOD
EQ	EQUAL	JOINT	JOINT	RH	RADIANT HEATING PANEL	WMOB	WASHING MACHINE OUTLET BOX
EXG	EXISTING	KD	KNOCK-DOWN	RM	ROOM	WR	WATER RESISTANT
EXH	EXHAUST	KIT	KITCHEN	R.O.	ROUGH OPENING	ZR	ZONING RESOLUTION
EXP	EXPOSED	LAV	LAVATORY	SAB	SOUND ATTENUATION BLANKET		
EXT	EXTERIOR	L.C.	LINEN CLOSET	SD	SMOKE DETECTOR		
FAI	FRESH AIR INTAKE	LP	LOW POINT	SECT	SECTION		
FC	FIRE CODE	MAX	MAXIMUM	SF	SQUARE FEET		
FD	FLOOR DRAIN	MAS.	MASONRY	SIM	SIMILAR		
F.E.	FIRE EXTINGUISHER	MIN	MINIMUM	SPKLR	SPINKLER (HEAD)		

SYMBOLS



COLUMN NUMBER & HOLD POINT
MECHANICAL DUCT DESIGNATION & SIZE (SEE M-DWGS FOR MORE INFO)
DOOR TYPE (SEE SCHEDULE)
WINDOW TYPE (SEE SCHEDULE)
PARTITION TYPE (SEE DETAIL)
ELEVATION DATUM
ELEVATION & SHEET NUMBER
INTERIOR ELEVATION CALL OUTS
SECTION & SHEET NUMBER
PROPERTY LINE

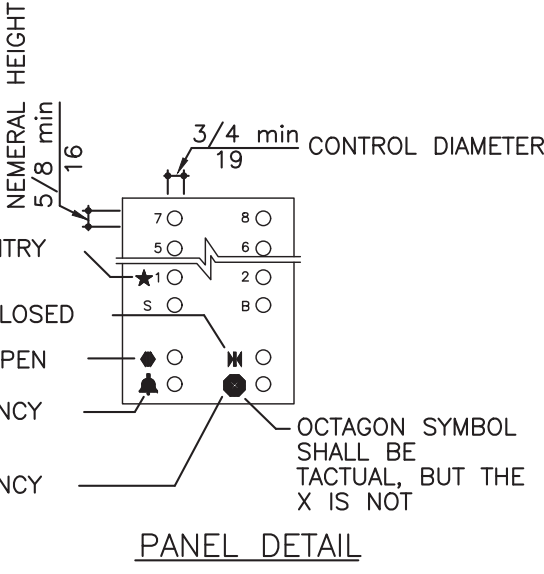
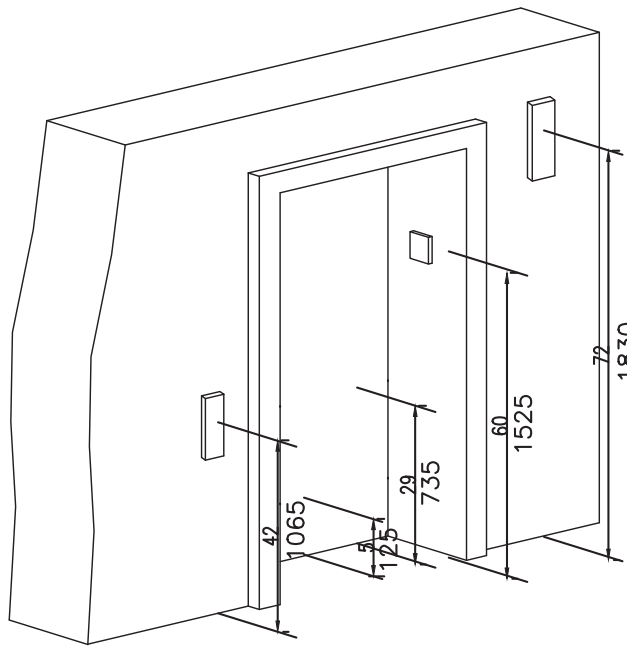
LEGEND



NOTE: Elevator cars with a minimum width that shown above, but no less than 54 in (1370 mm), are allowed for elevators with capacities of less than 2000 lb. A center opening door application necessitates increasing the 68-in (1730-mm) dimension to 80 in (2030 mm).

*At least one elevator cab to be 2500# capacity with 42" door, per NYC Building Code 2008.

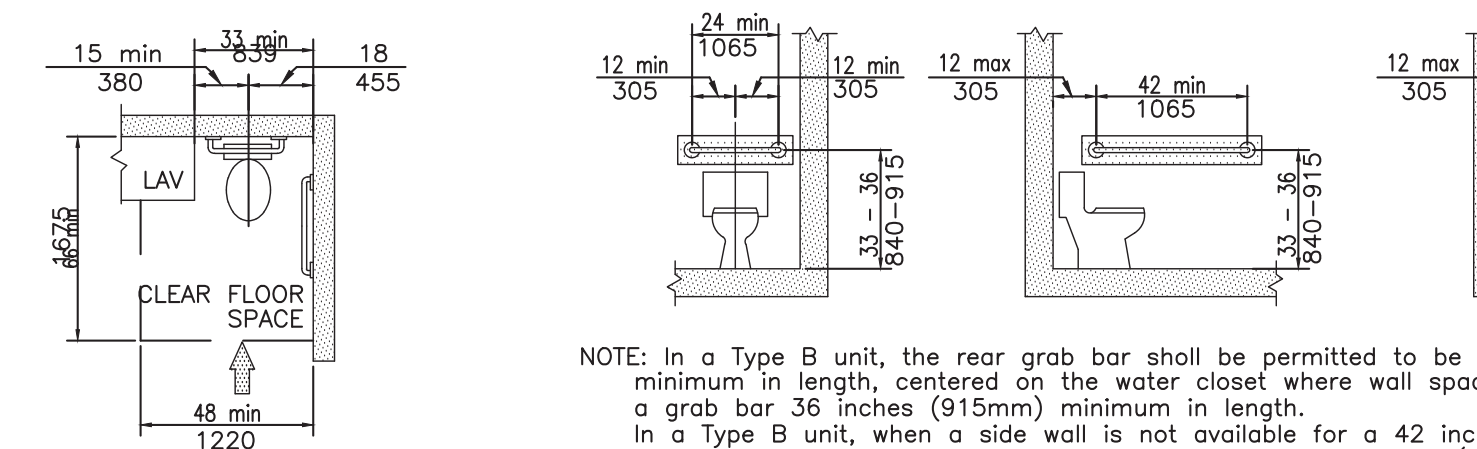
MINIMUM DIMENSIONS OF ELEVATOR CARS



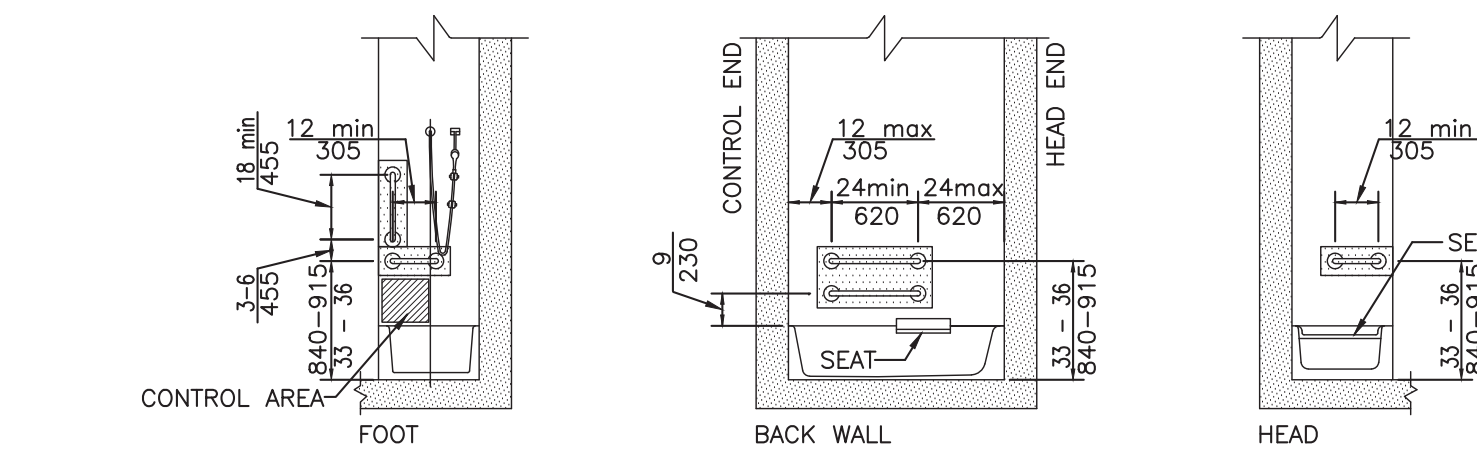
FOR STREETCAR ACCESS PER BC
NOTE: THE AUTOMATIC DOOR REOPENING DEVICE IS ACTIVATED IF AN OBJECT PASSES THROUGH EITHER LINE A OR LINE B. LINE A AND LINE B REPRESENT THE VERTICAL LOCATIONS OF THE DOOR REOPENING DEVICE NOT REQUIRING CONTACTS.

HOISTWAY AND ELEVATOR ENTRANCES

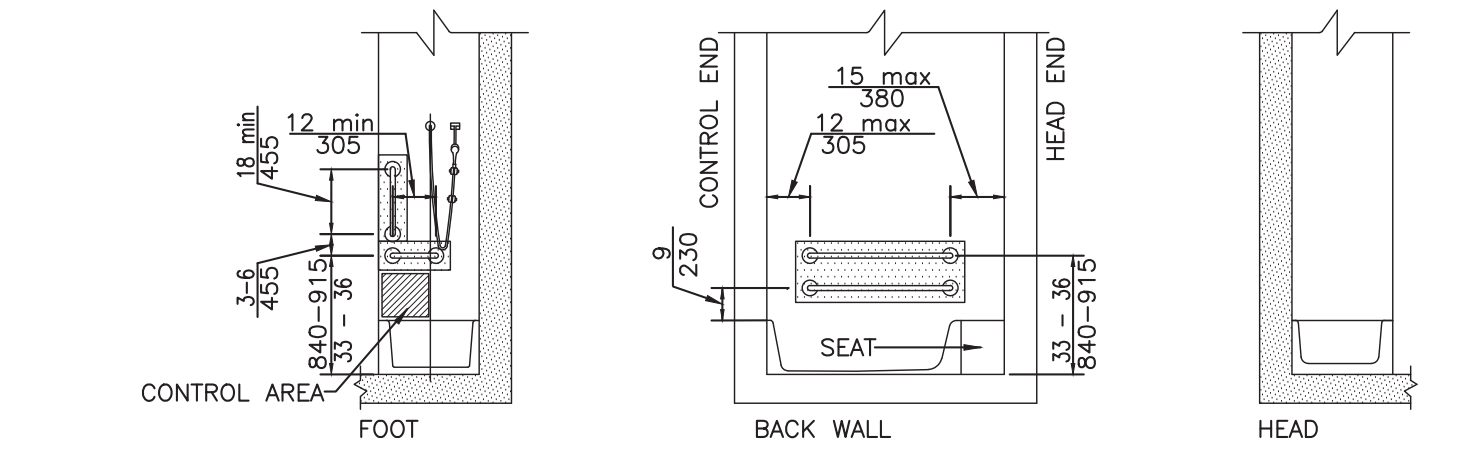
NOTE: The lightly shaded area are reinforced to receive grab bars. Reinforcement shall be provided for the future installation of grab bars and shower seats at water closets, bathtubs, and shower compartments. Where walls are located to permit the installation of grab bars and seats complying with Sections 604.4, 607.4, 608.3 and 608.4, reinforcement shall be provided for the future installation of grab bars and seats meeting those requirements.
EXCEPTION: Reinforcement is not required in a room containing only a lavatory and a water closet, provided the room does not contain the only lavatory and water closet on the accessible level of the unit.



WATER CLOSET LOCATION

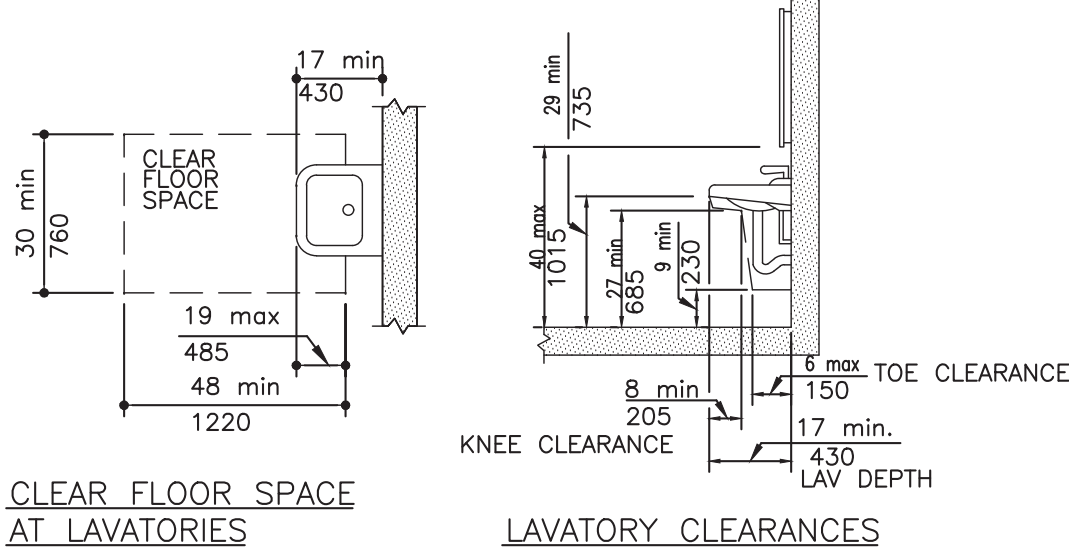


TUB WITHOUT PERMANENT SEATS

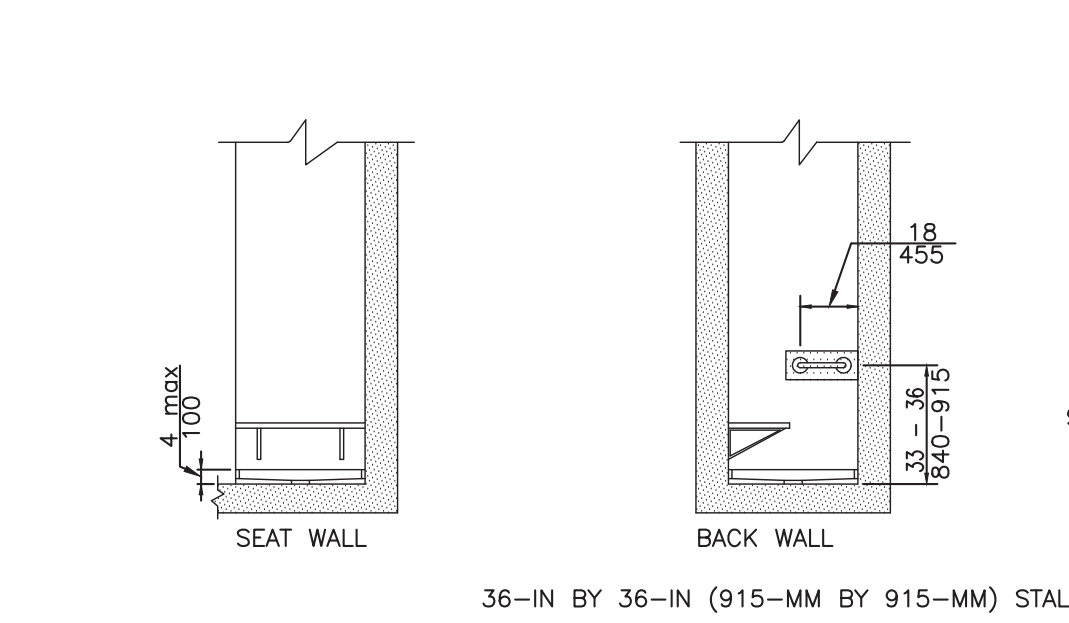


TUB WITH PERMANENT SEAT

LOCATION OF GRAB-BAR REINFORCEMENTS AND CONTROLS OF ADAPTABLE BATHTUBS

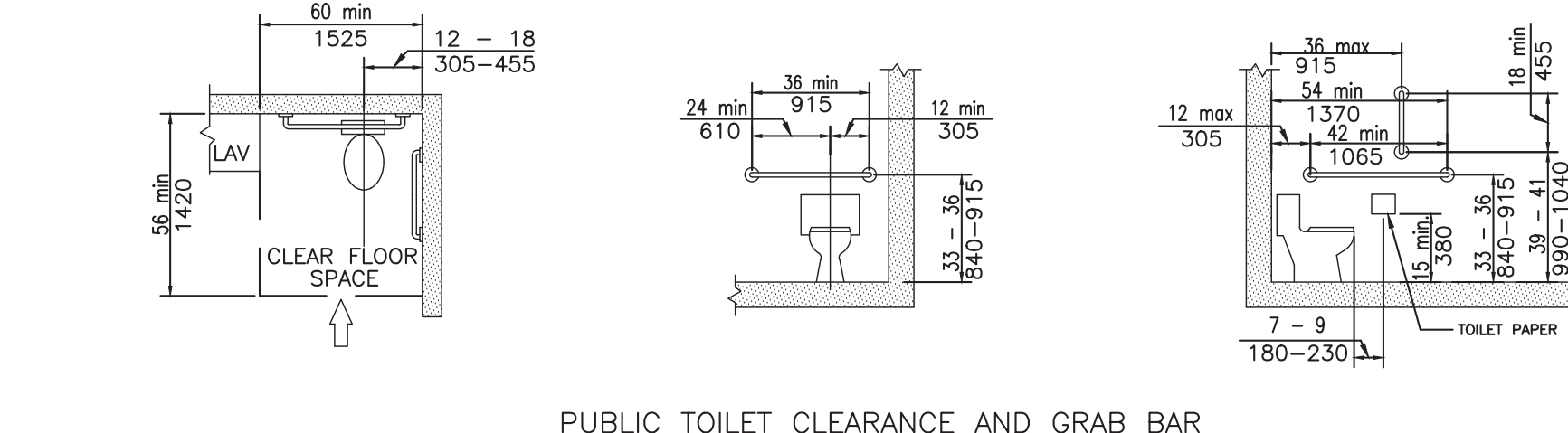


CLEAR FLOOR SPACE AT LAVATORIES

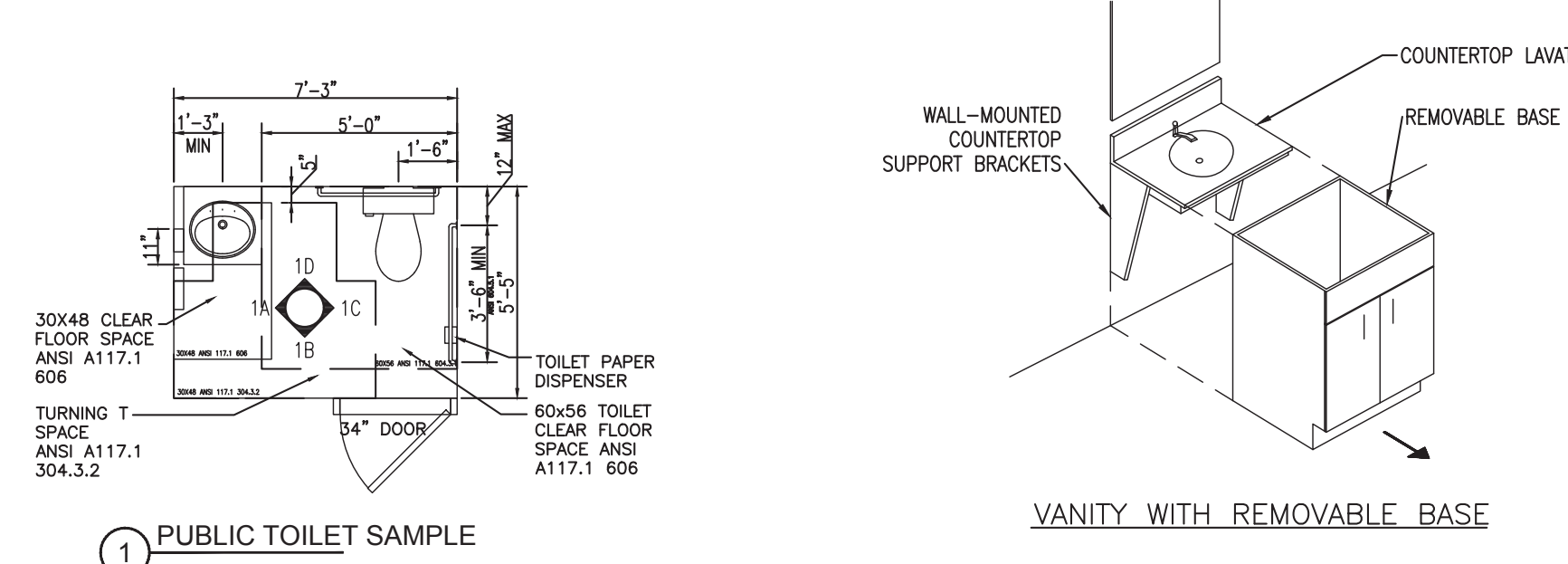


LOCATION OF GRAB-BAR REINFORCEMENTS AND CONTROLS OF ADAPTABLE SHOWERS

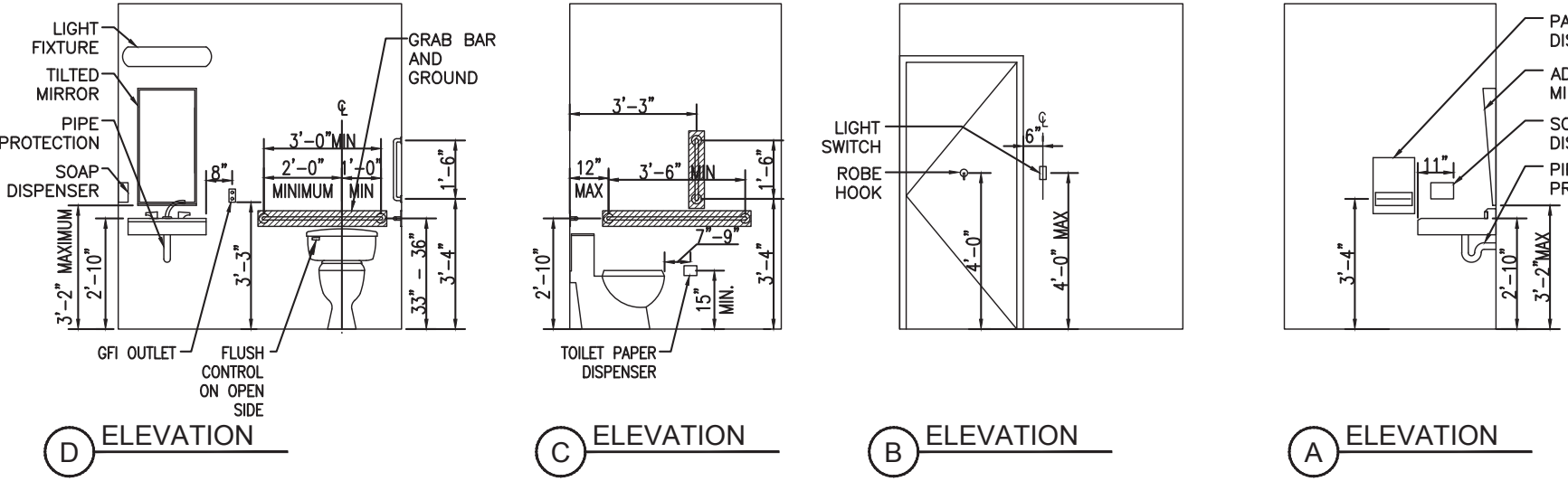
ADAPTABLE TOILET, BATH AND SHOWER REQUIREMENTS



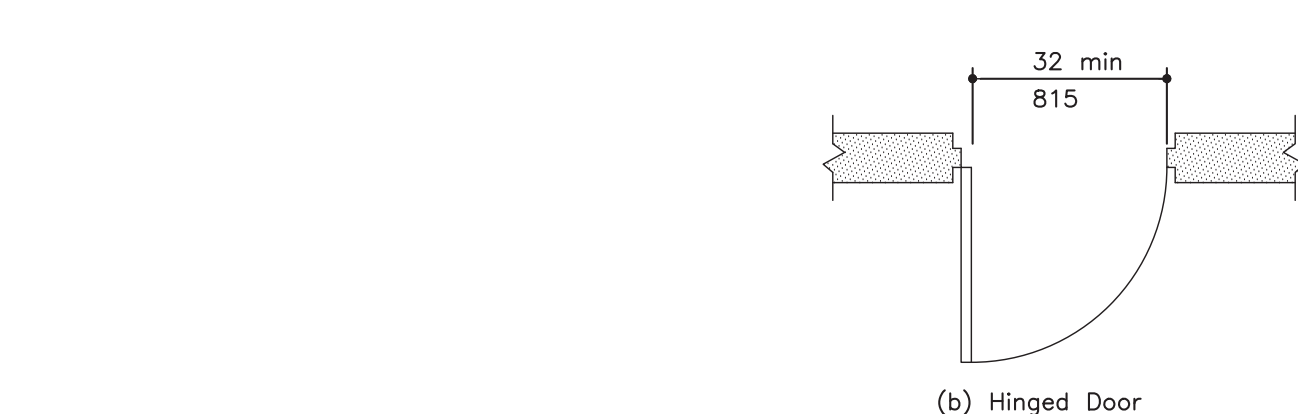
PUBLIC TOILET CLEARANCE AND GRAB BAR



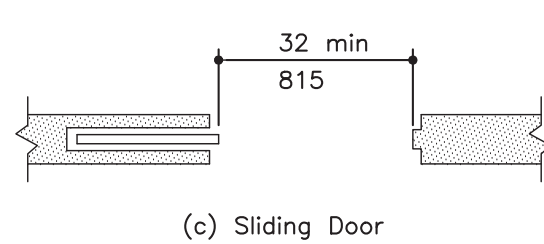
VANITY WITH REMOVABLE BASE



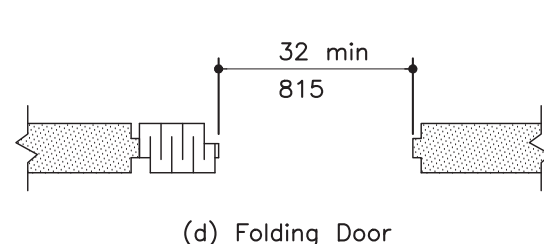
ACCESSIBLE WATER CLOSETS AND TOILET COMPARTMENTS



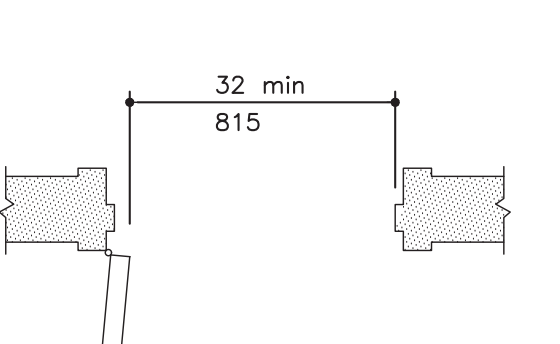
(b) Hinged Door



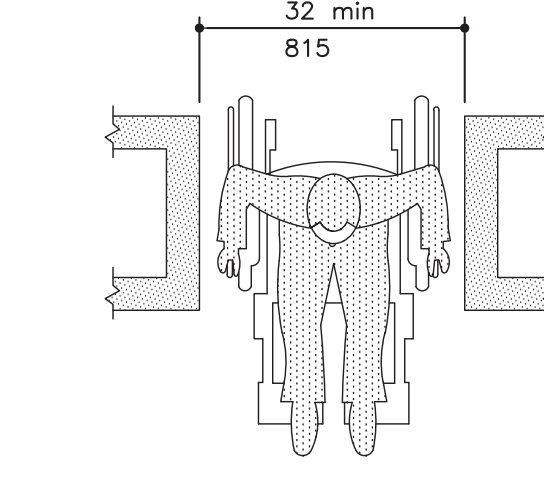
(c) Sliding Door



(d) Folding Door

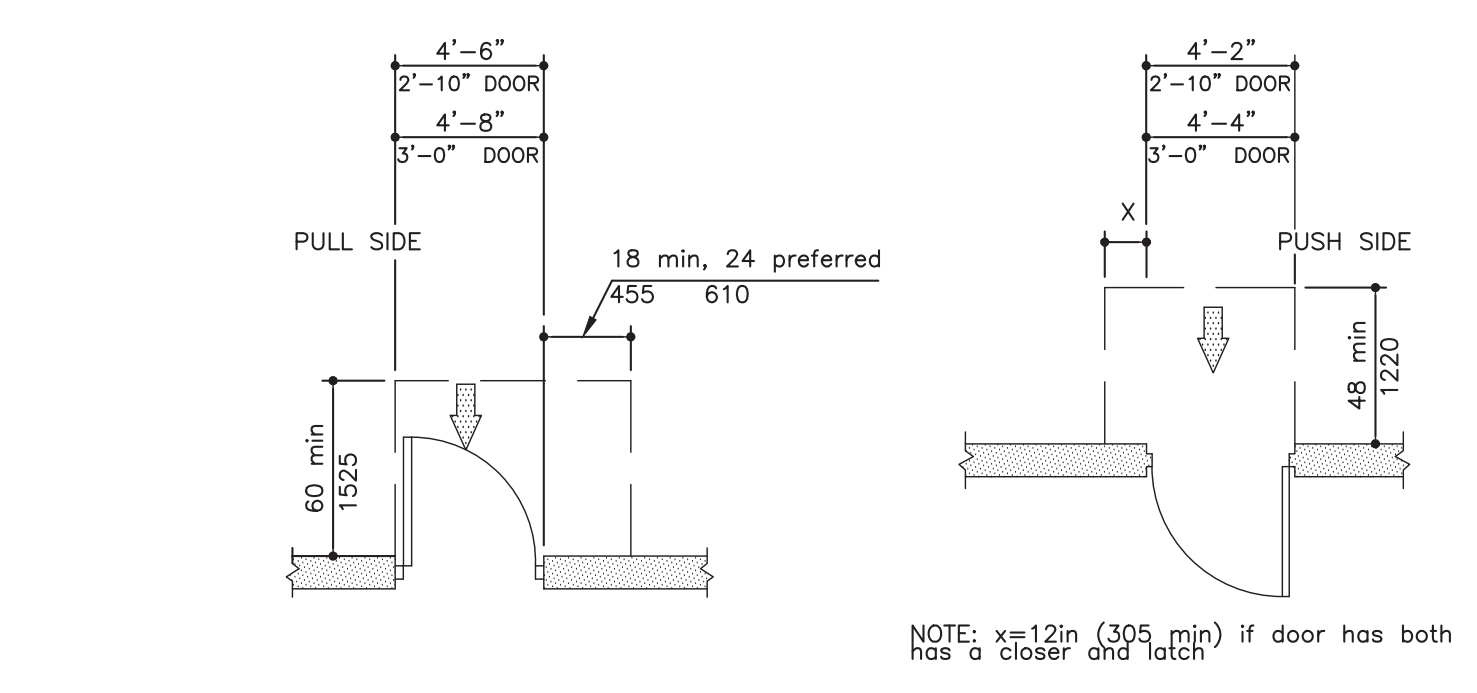


(a) Detail

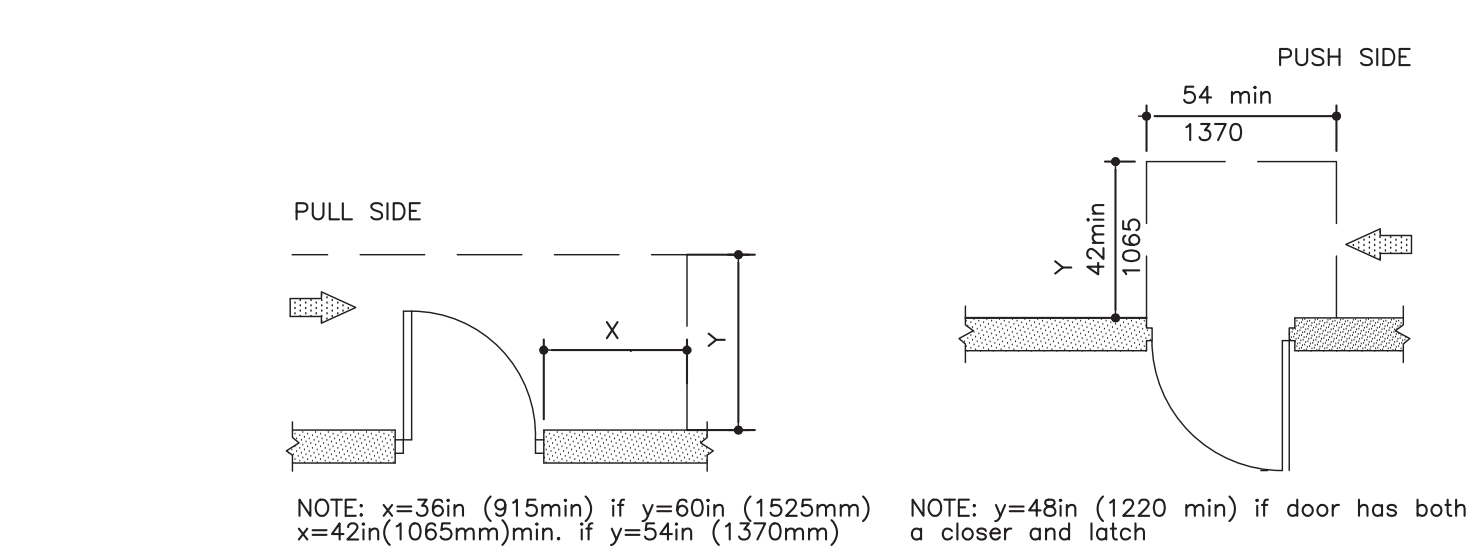


(e) Maximum Doorway Depth

CLEAR DOORWAY WIDTH AND DEPTH



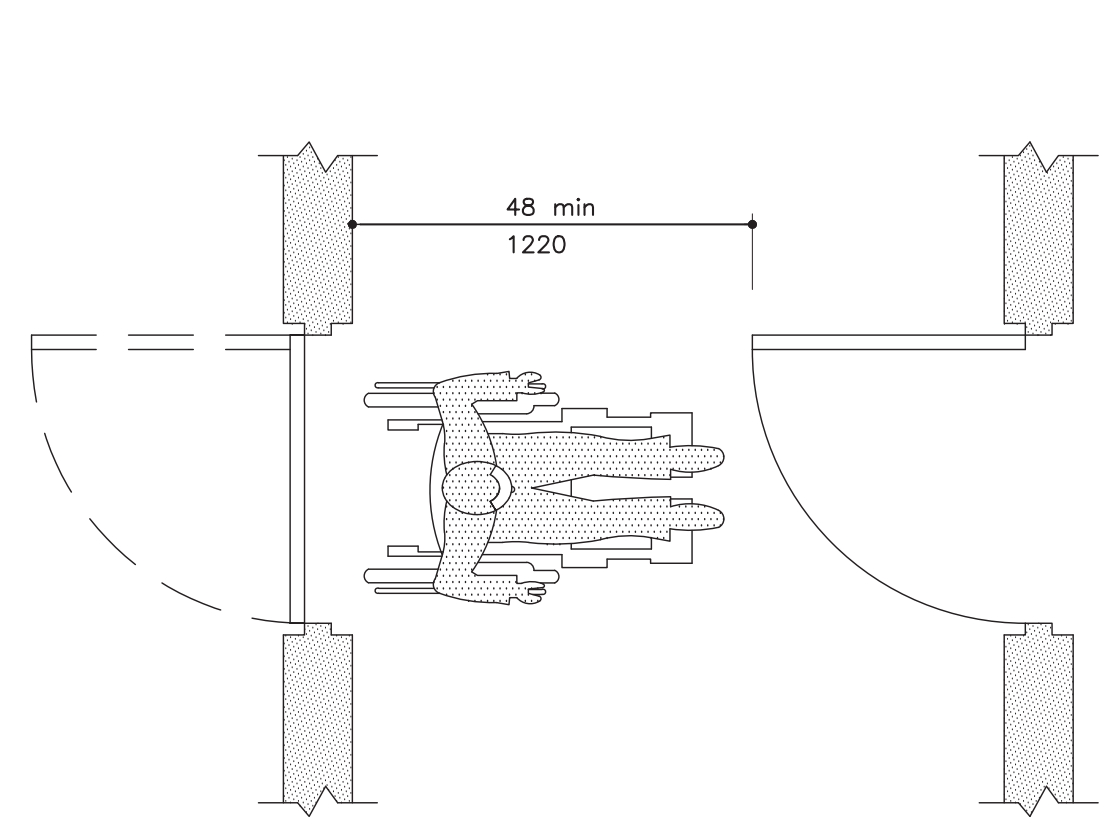
FRONT APPROACHES- SWINGING DOORS



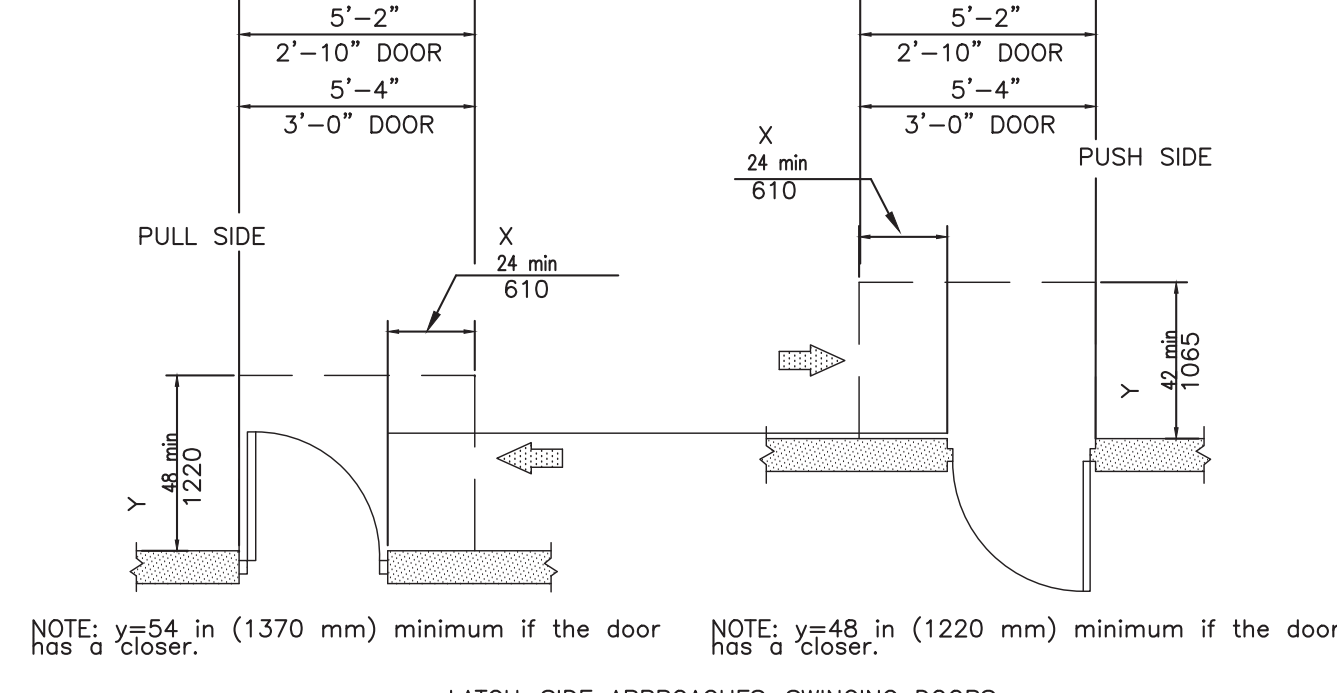
HINGED-SIDE APPROACHES-SWINGING DOORS

NOTE: all doors in alcoves shall comply with clearances for front approaches

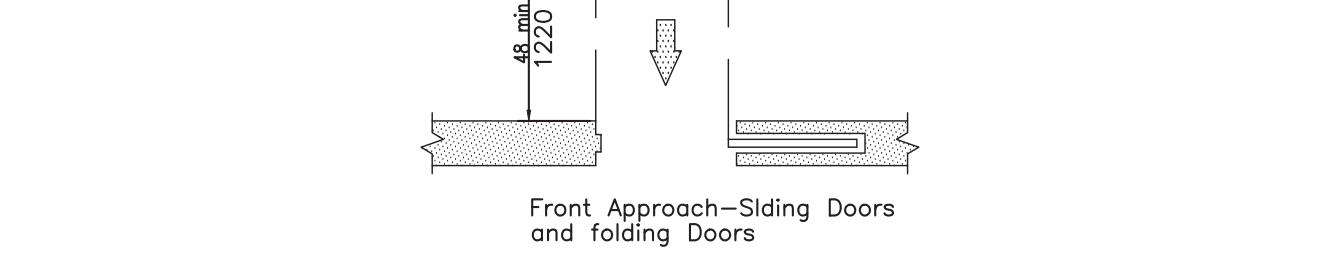
MANEUVERING CLEARANCES AT DOORS



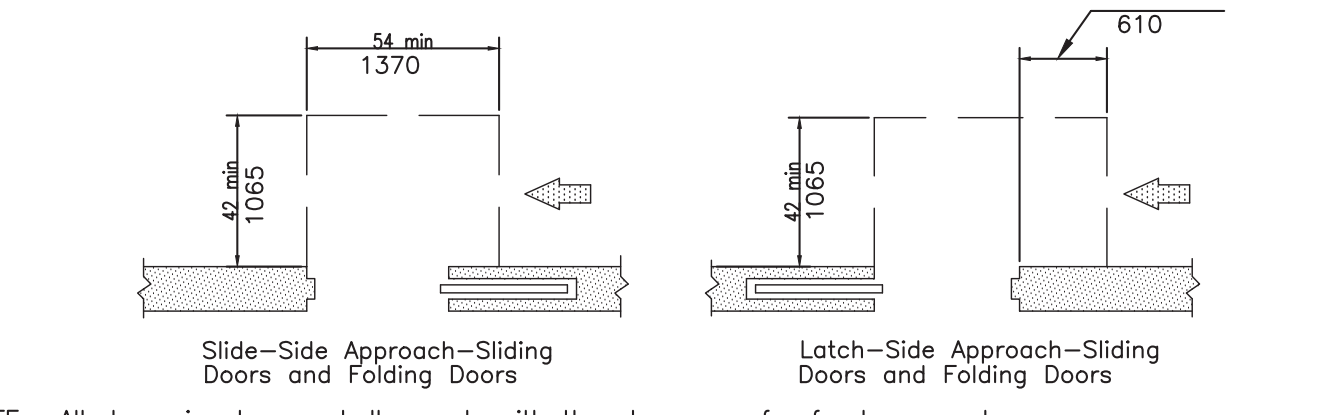
HINGED DOORS IN SERIES



LATCH-SIDE APPROACHES-SWINGING DOORS



Front Approach-Sliding Doors and Folding Doors



Side-Side Approach-Sliding Doors and Folding Doors

Latch-Side Approach-Sliding Doors and Folding Doors

NOTE: All doors in alcoves shall comply with the clearances for front approaches

MANEUVERING CLEARANCES AT DOORS

HANDICAPPED DOOR REQUIREMENTS

10/14/16	HPD REVISION 1
-	07/12/16 HPD FILING SET
-	08/14/15 DOB FILING SET

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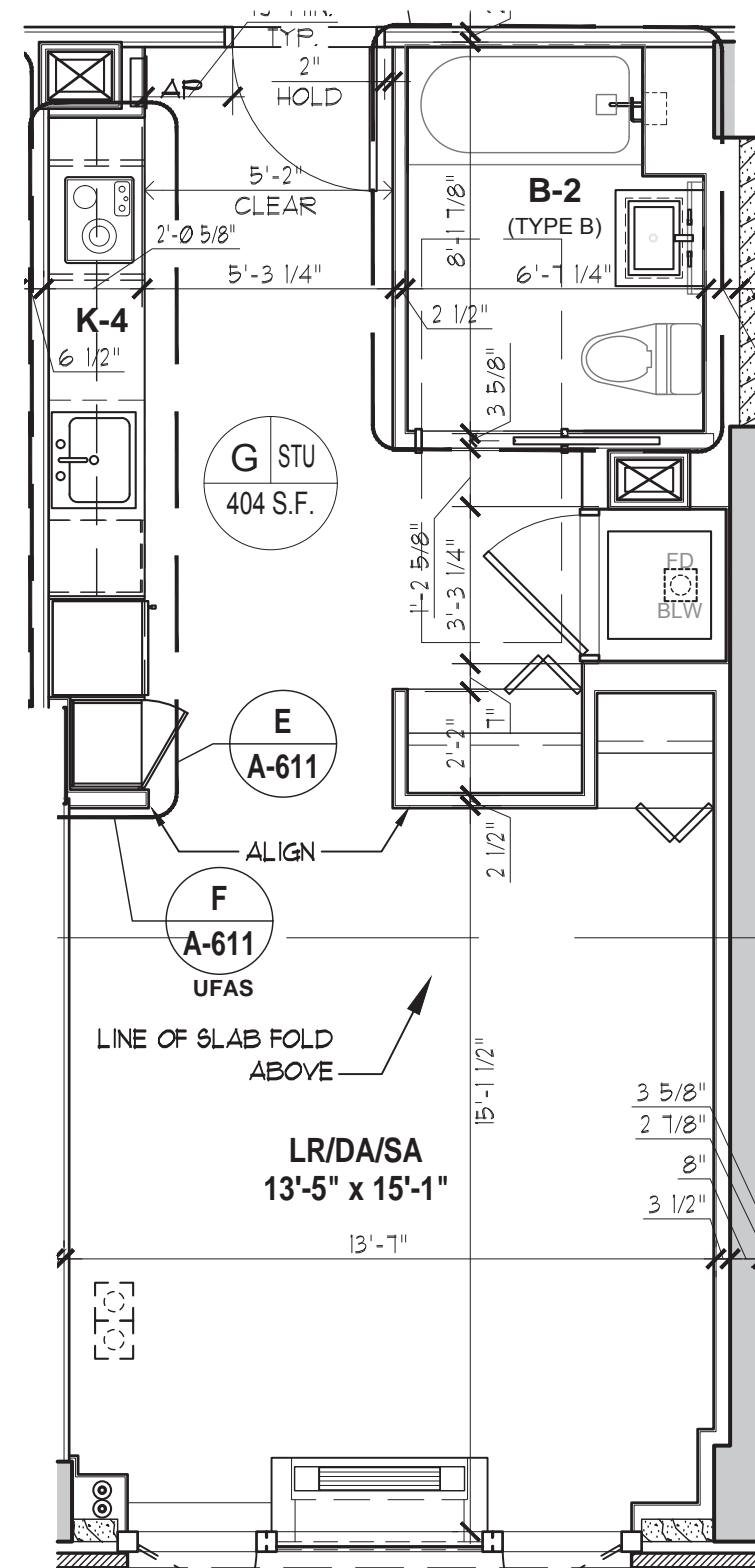
Drawing Title:
HANDICAP REQUIREMENTS

SEAL & SIGNATURE:
REGISTERED ARCHITECT
DATE: 08/14/2014
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-030.00
DOW RES: 0/046 - 1/418 - 1/000 FOR KENNY
07 OF 40

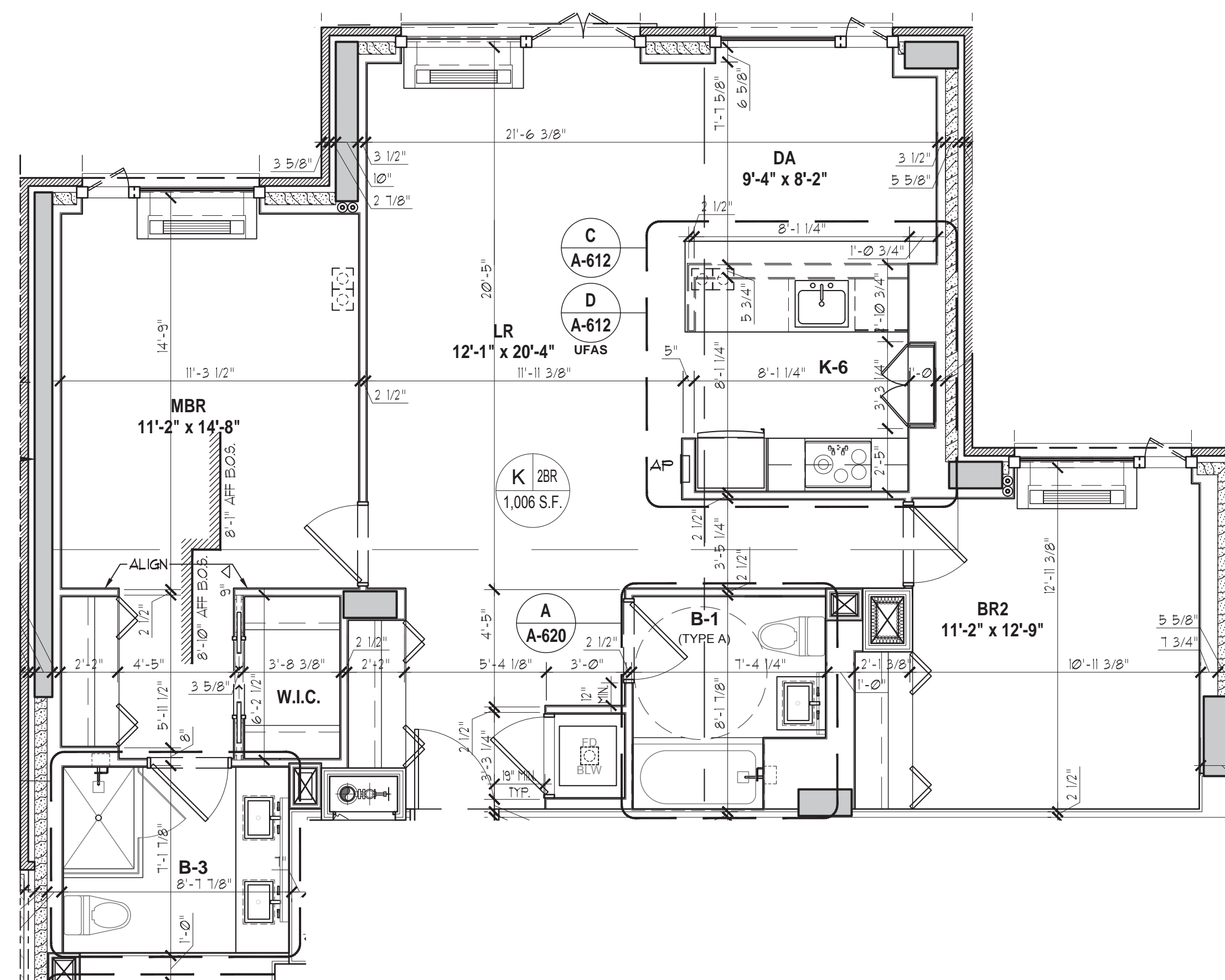
Floor Plan Details:

- Kitchen (K-1):** 10'-11" x 3'-4". Includes sink, stove, and refrigerator.
- Bathroom (B-1):** 5'-7" x 11'-0". Includes toilet and bathtub.
- Bedroom (BR):** 14'-9" x 11'-0". Includes bed and desk.
- Living Area (A-610):** 14'-9" x 11'-0". Includes sofa and fireplace.
- Corridor (B-2):** 2'-10" x 11'-0".
- Staircase (A-610):** 14'-9" x 11'-0".
- Office (A-610):** 14'-9" x 11'-0".

1 UNIT A - 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 **UNIT G - 5TH FLOOR PLAN**
SCALE: 1/4" = 1'-0"



4 UNIT K - 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"

UFAS UNIT LOCATIONS:

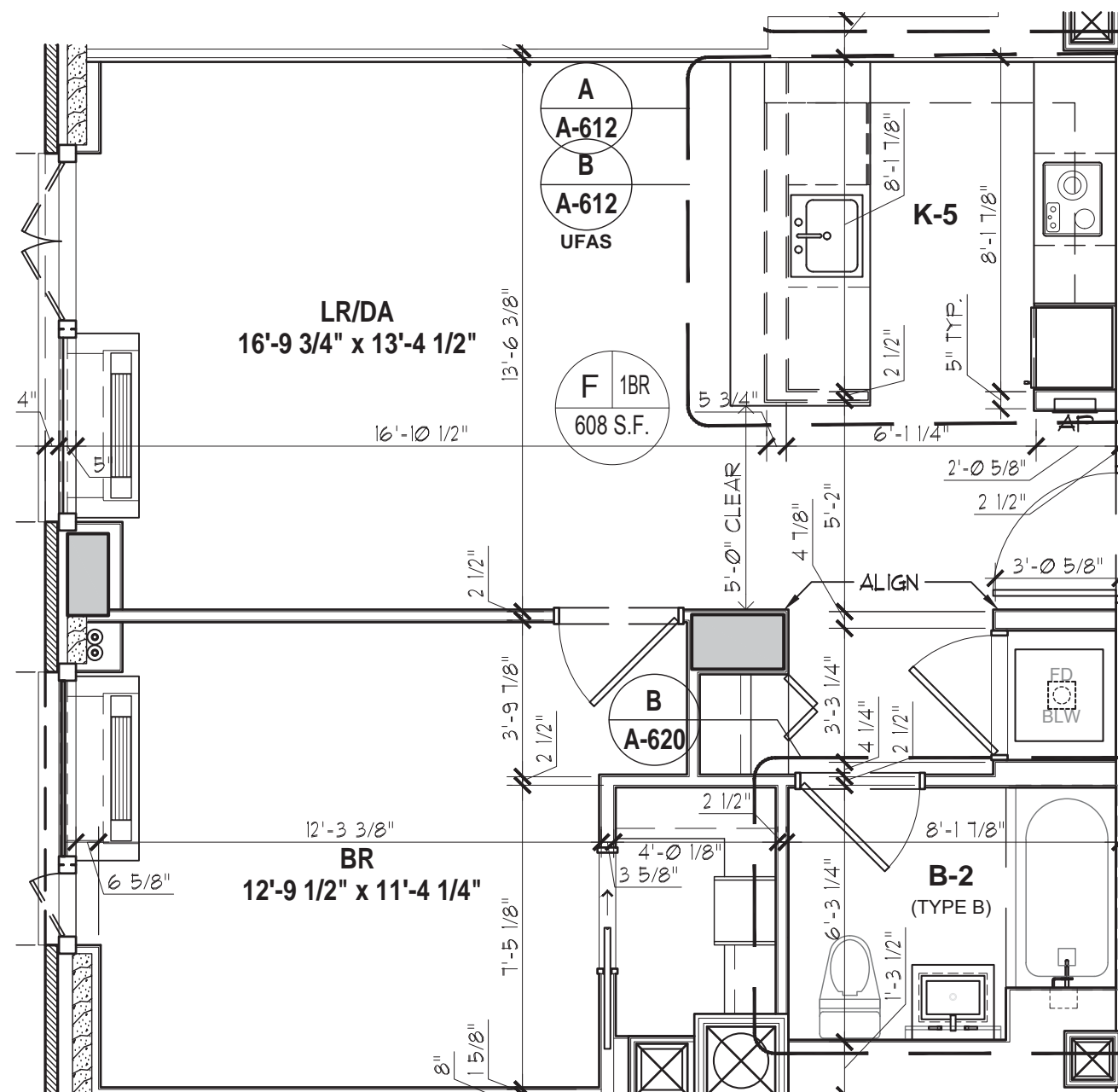
- 3RD FLOOR - UNIT A (1BR) - UFAS AUDIO/VIDEO IMPAIRED
- 3RD FLOOR - UNIT F (1BR) - UFAS MOBILITY IMPAIRED
- 3RD FLOOR - UNIT K (2BR) - UFAS MOBILITY IMPAIRED (IH UNIT)
- 4TH FLOOR - UNIT F (1BR) - UFAS MOBILITY IMPAIRED
- 5TH FLOOR - UNIT G (STUDIO) - UFAS AUDIO/VIDEO IMPAIRED
- 6TH FLOOR - UNIT J (STUDIO) - UFAS MOBILITY IMPAIRED
- 7TH FLOOR - UNIT J (STUDIO) - UFAS MOBILITY IMPAIRED

SECTION 504 OF THE REHABILITATION ACT OF 1973

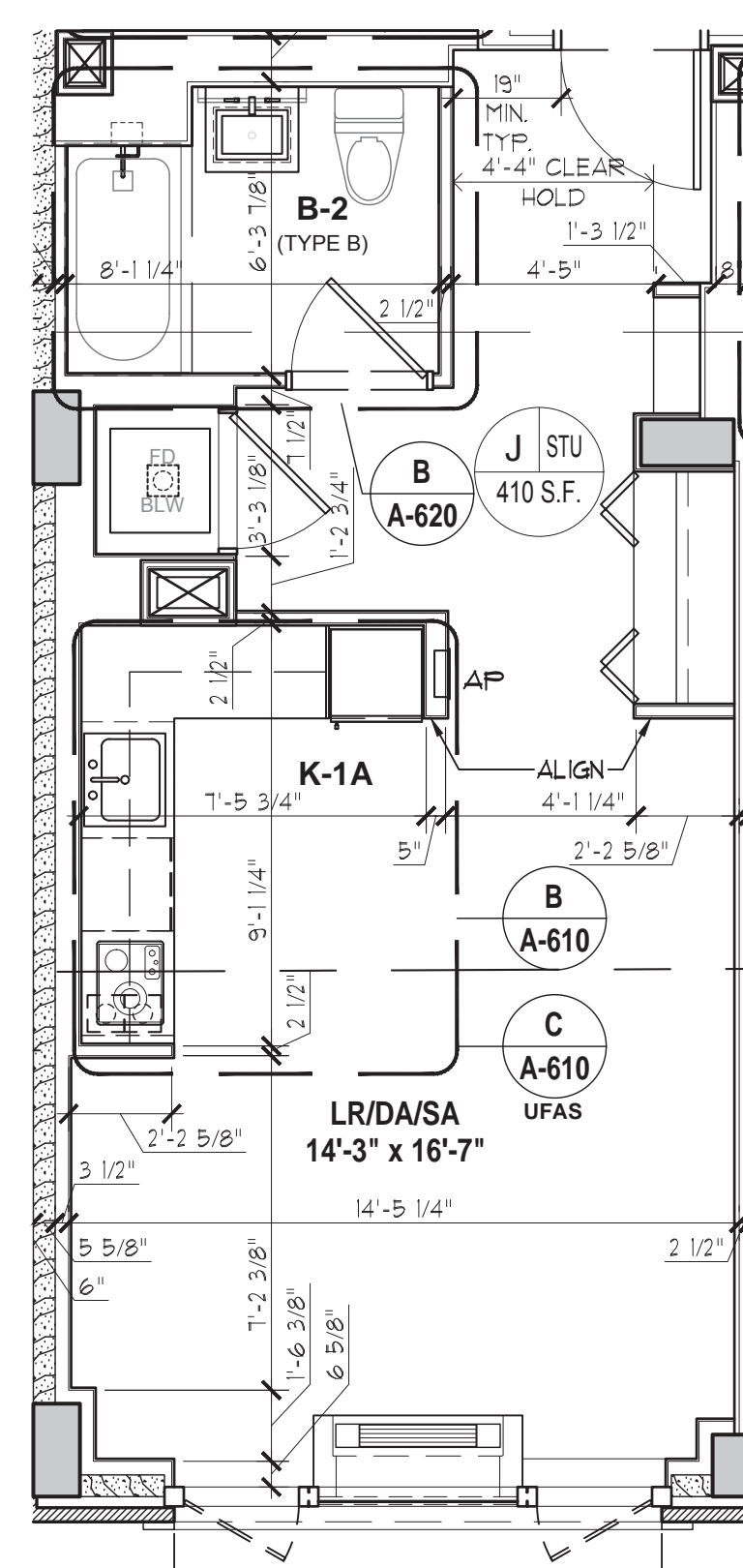
	MOBILITY IMPAIRED	AUDIO / VISUAL IMPAIRED
REQUIRED	5% OF TOTAL BLDG. UNITS	2% OF TOTAL BLDG. UNITS
PROPOSED	5 UNITS OF 88 TOTAL UNITS 5/88 = 5.7% MIN : OK	2 UNIT OF 88 TOTAL UNITS 2/88 = 2% MIN : OK

TYPICAL UFAS UNIT REQUIREMENTS:

- PROVIDE KITCHEN AMMENITIES AS REQ'D - SEE SHEET A-610 THRU A-613
- PROVIDE BATHROOM AMMENITIES AS REQ'D - SEE SHEET A-620 & A-621
- DOORS NOTED WITH AN ALTERNATE ADO-COMPLIANT SWING MUST BE INSTALLED IN THE ALTERNATE POSITION AT THE TIME OF CONSTRUCTION (TO PROVIDE 18" MINIMUM FULL SIZE CLEARANCE)
- EXTEND HARD WIRED ELECTRIC DOORBELL AT ENTRY DOOR WITH AUDIBLE TONE AND VISUAL INDICATION OF RINGING TO THE MAIN ENTRY
- PROVIDE BUILDING FIRE AND LIFE SAFETY WIRING TO A POINT IN UNIT WITHIN VICINITY OF SMOKE DETECTION SYSTEM. POINT MUST BE VISIBLE DIRECTLY OR BY REFLECTION FROM ANY ROOM OR SPACE
- DWELLING UNIT SMOKE DETECTION SYSTEM TO COMPLY WITH NFPA 72
- ALL LIGHTS, SWITCHES, & TOP BREAKER OF ELECTRICAL PANELS TO BE MAX. 48" AFF PER UFAS SEC. 4.2.5.8 & 4.2.6
- ALL RECEPTABLES TO BE LOCATED 15" AFF MIN. TO 48" AFF MAX. PER UFAS SEC. 4.2.5.8 & 4.2.6



3 UNIT F - 3RD & 4TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

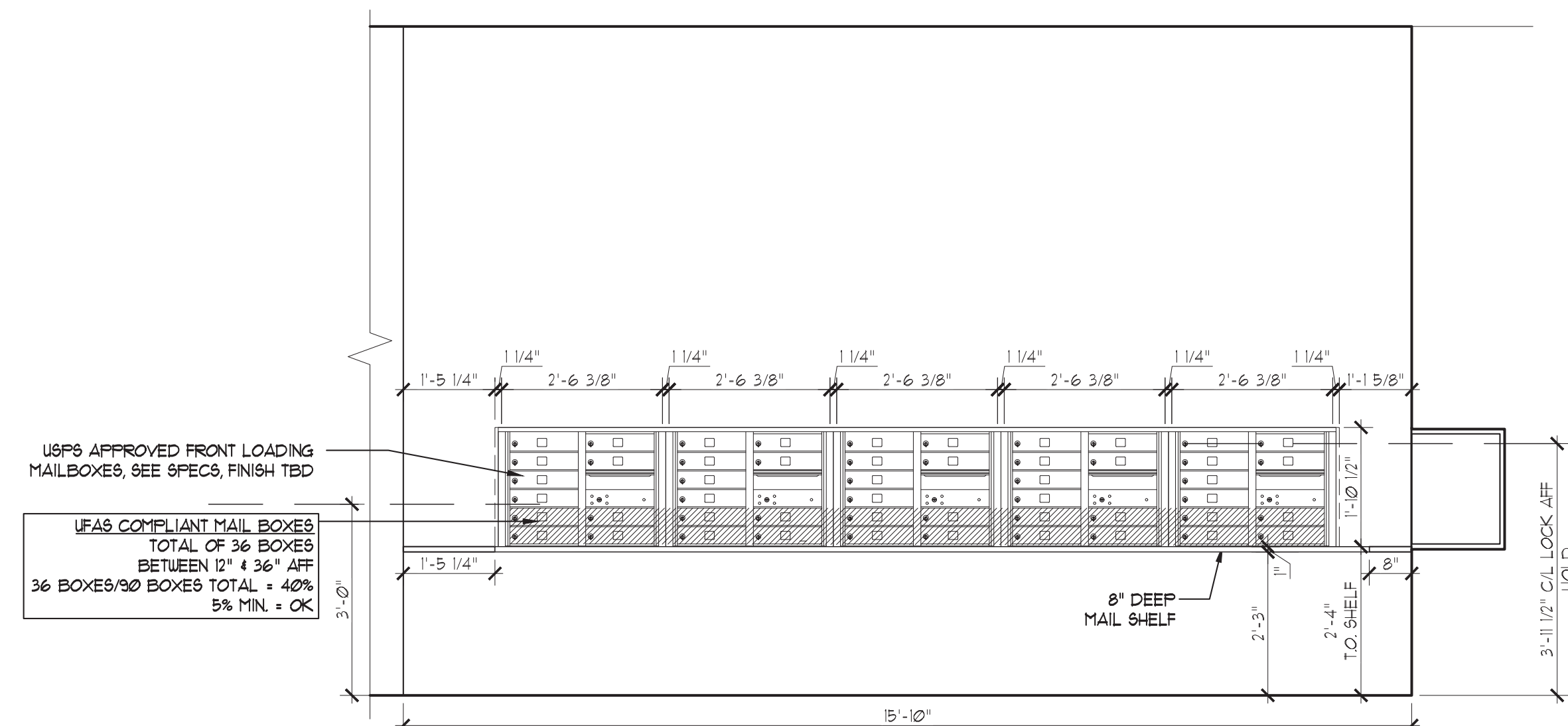


5 UNIT J - 6TH & 7TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

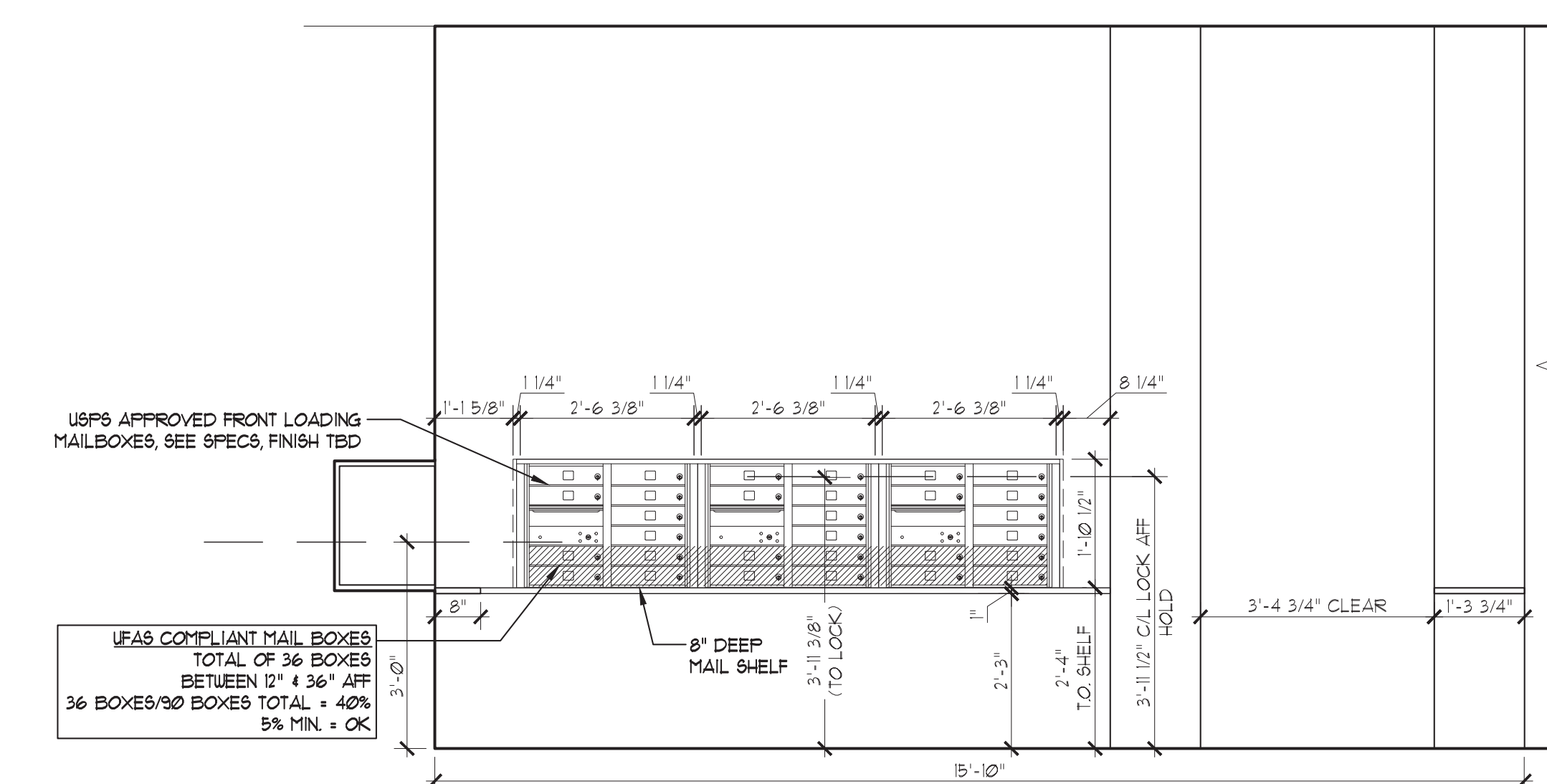
Architectural floor plan of a mail room. The plan shows a rectangular room with a central circular area. Key features and dimensions include:

- Top Wall:** A series of mail slots with dimensions: 1'-5 1/4", 1'-6 3/8", 2'-6 3/8", 2'-6 3/8", 2'-6 3/8", 2'-6 3/8", 2'-6 3/8", 1'-5 1/8".
- Right Wall:** Includes a door with a window (1'-5 1/8" x 5'-0") and a window (1'-5 1/8" x 1'-4").
- Bottom Wall:** Includes a door (1'-5 1/8" x 5'-0") and a series of mail slots with dimensions: 1'-5 1/8", 2'-6 3/8", 2'-6 3/8", 2'-6 3/8", 2'-6 3/8", 1'-5 1/8".
- Left Wall:** Includes a door (3'-5 1/8" x 1'-5 1/4") and a series of mail slots with dimensions: 1'-5 1/4", 1'-3 3/4", 4'-5 1/4", 1'-3 3/4".
- Central Area:** A circular area with a diameter of 8'-0" (labeled 8'-0" and 8'-0" 1/2").
- Mail Shelves:** Labeled "8' DEEP MAIL SHELF" and "MAIL SHELF".
- Clearance:** A "3'-4 3/4" CLEAR" area is indicated near the bottom left.
- Dimensions:** Overall dimensions are 18'-10 1/2" (width) and 11'-4" (depth).

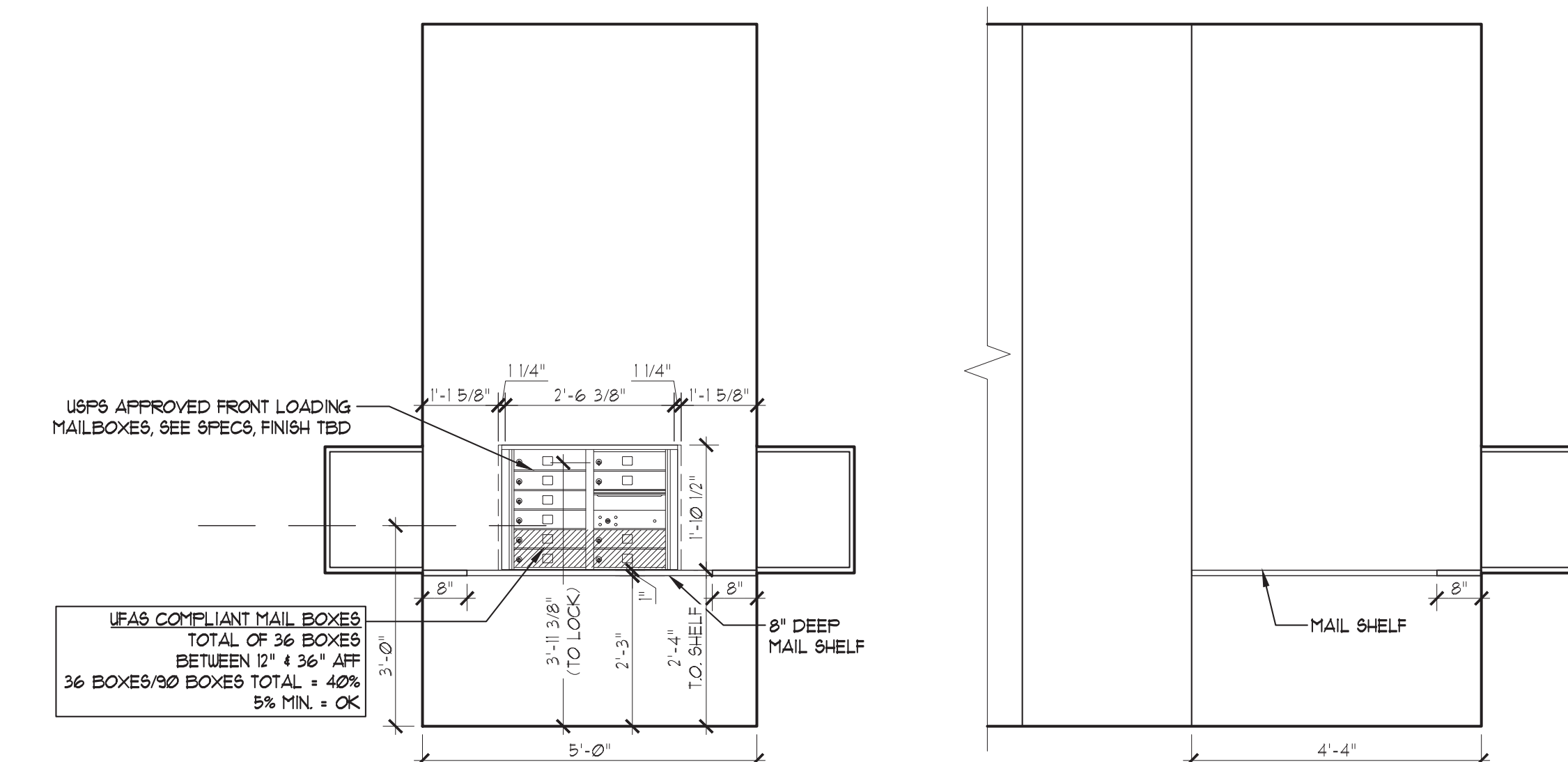
6 MAIL ROOM PLAN
SCALE: 1/2" = 1'-0"



7 MAIL ROOM ELEVATION
SCALE: 1/2" = 1'-0"

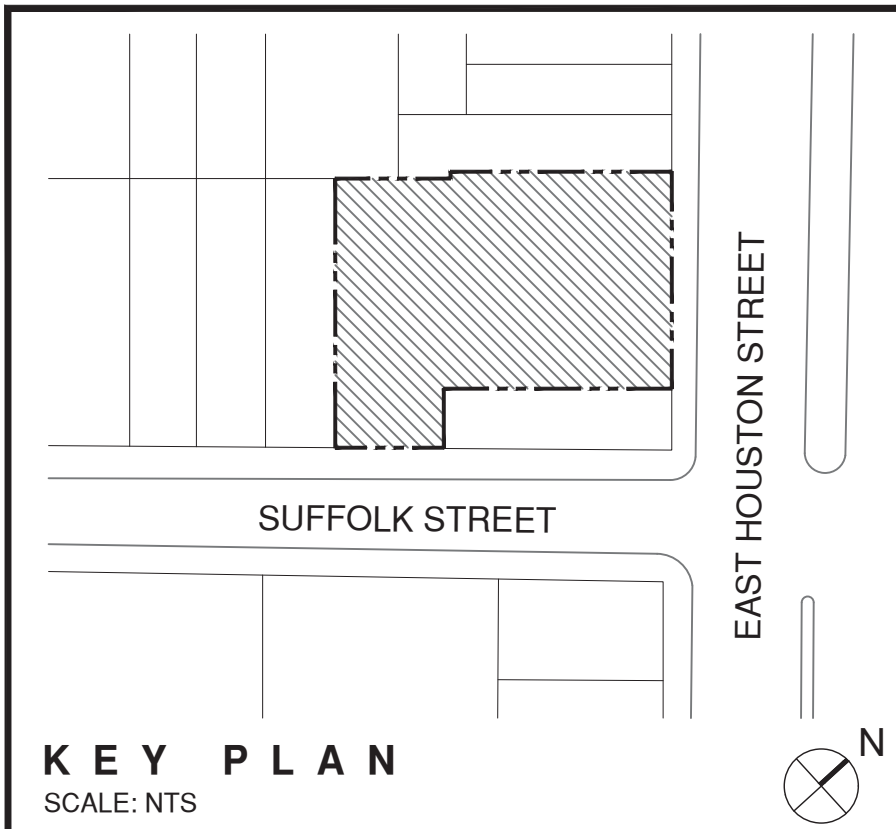


8 MAIL ROOM ELEVATION
SCALE: 1/2" = 1'-0"



9 MAIL ROOM ELEVATION
SCALE: 1/2" = 1'-0"

10 MAIL ROOM ELEVATION
SCALE: 1/2" = 1'-0"



	10/14/16	HPD REVISION 1
-	07/12/16	HPD REVISION SET
-	07/12/16	HPD FILING SET

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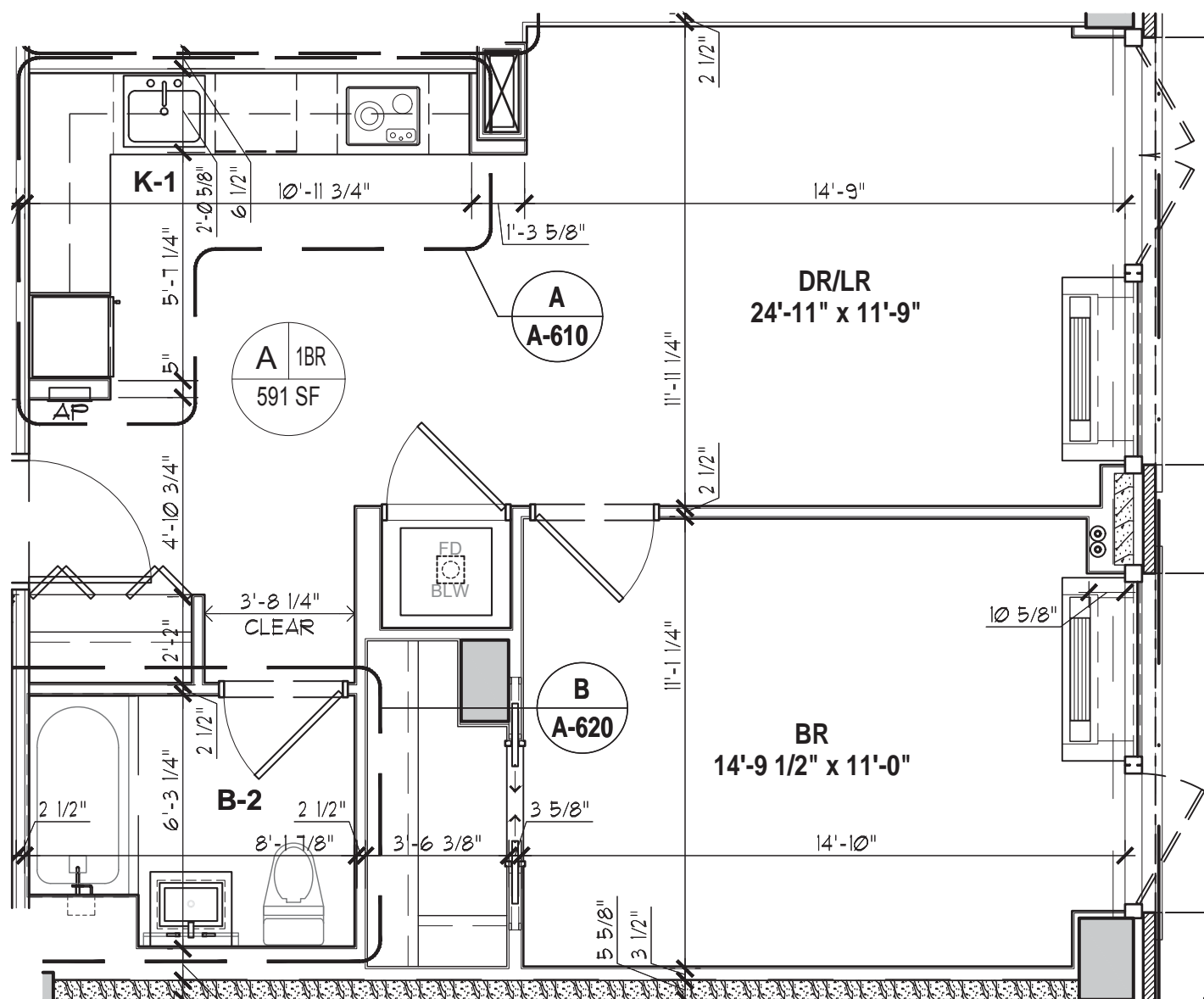
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Drawing Title:

**UFAS MOBILITY & A/V IMPAIRED
ADAPTABLE UNIT PLANS**

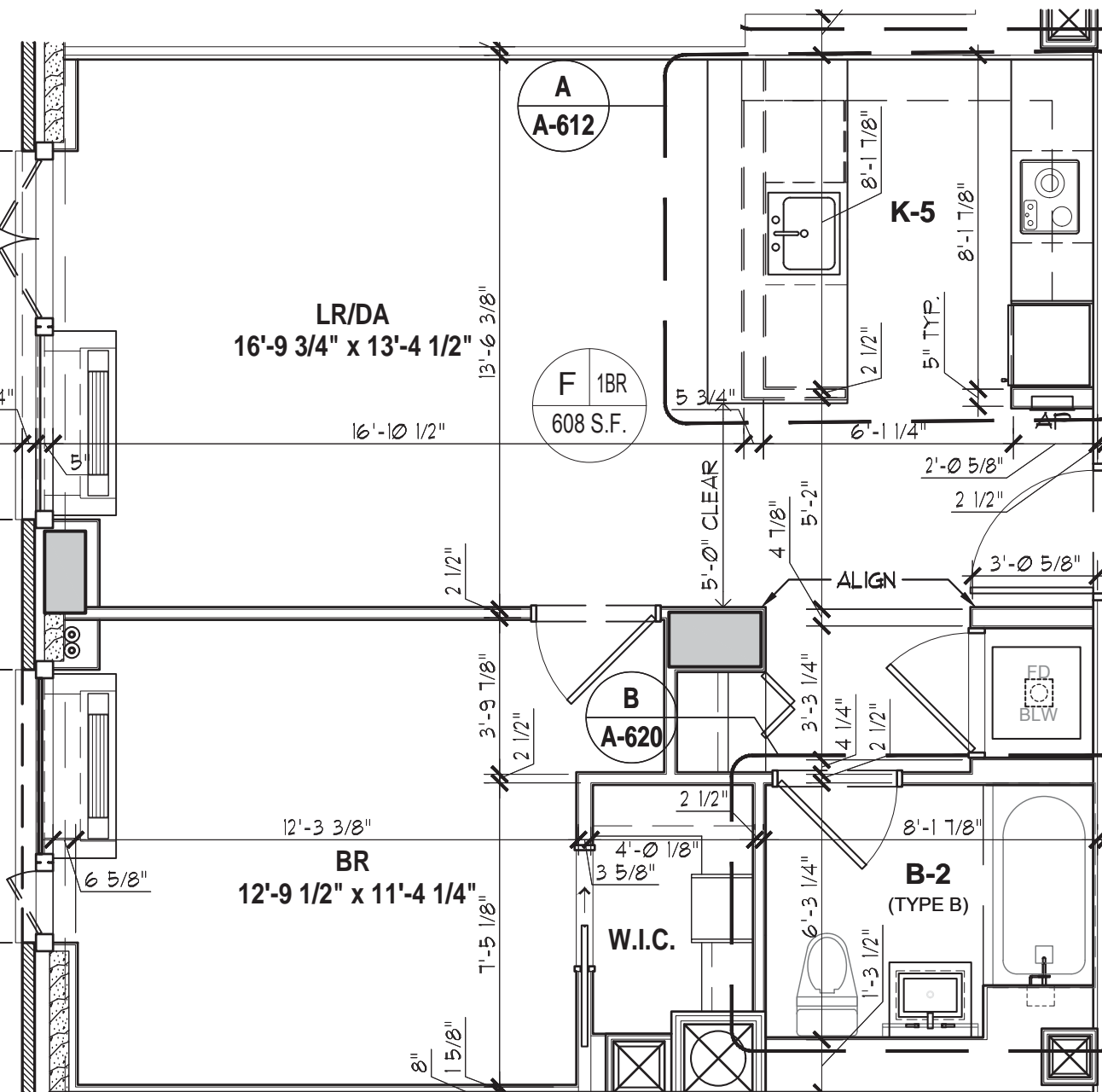
SEAL & SIGNATURE:	DATE:	07/12/2016
	PROJECT#:	1446
	DRAWING SCALE:	AS NOTED
	DRAWING NO.:	A-040.00
CAD REF:		8 OF 40
6/2/86 - A-040 - TYP. LENS UNIT PLANS		

INCLUSIONARY HOUSING UNITS



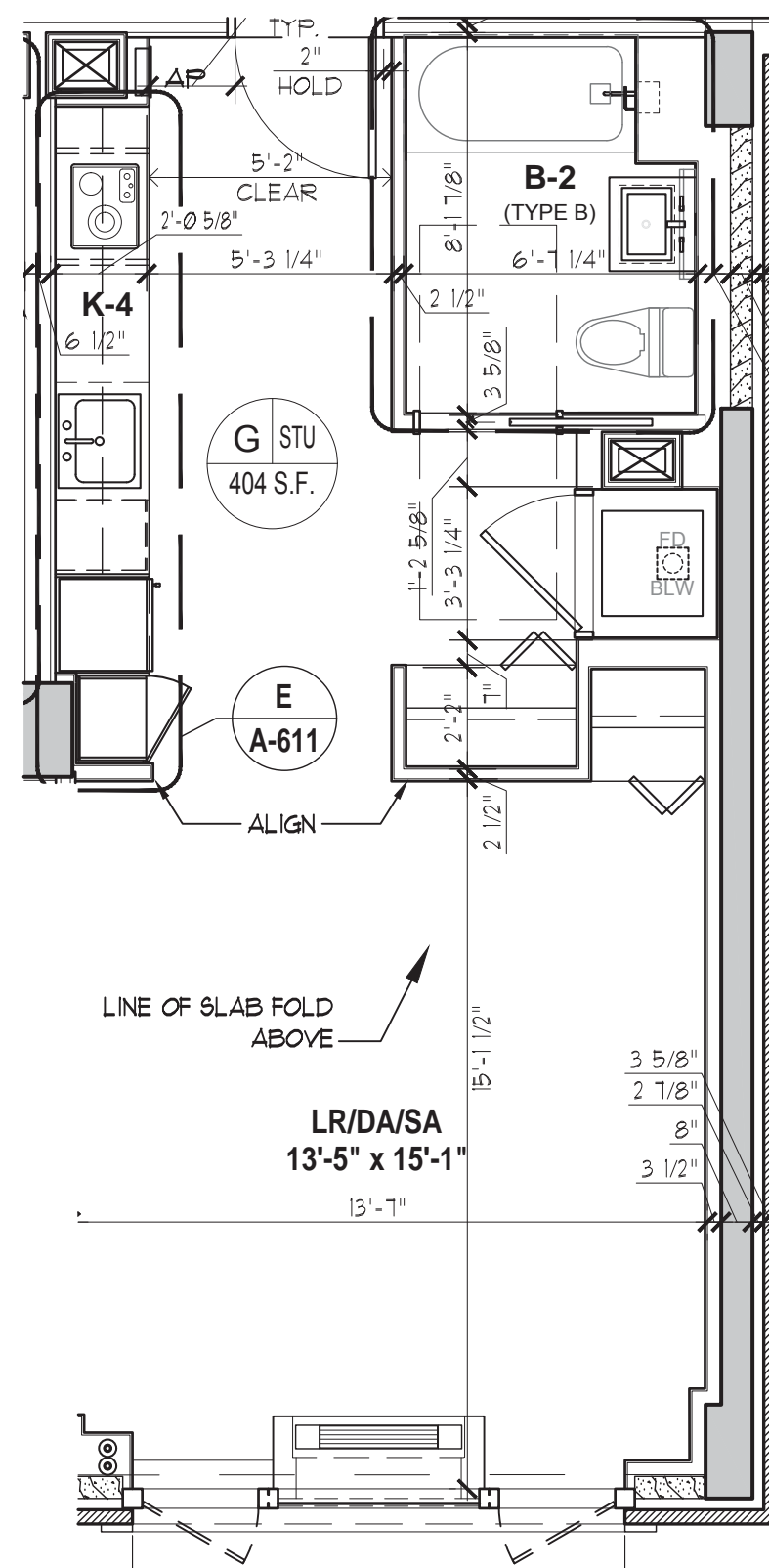
INCLUSIONARY HOUSING UNIT AT 4TH & 6TH - 8TH FLOOR

1 UNIT A - 4TH & 6TH-8TH FLOOR PLAN
SCALE: 1/4" = 1'-0"



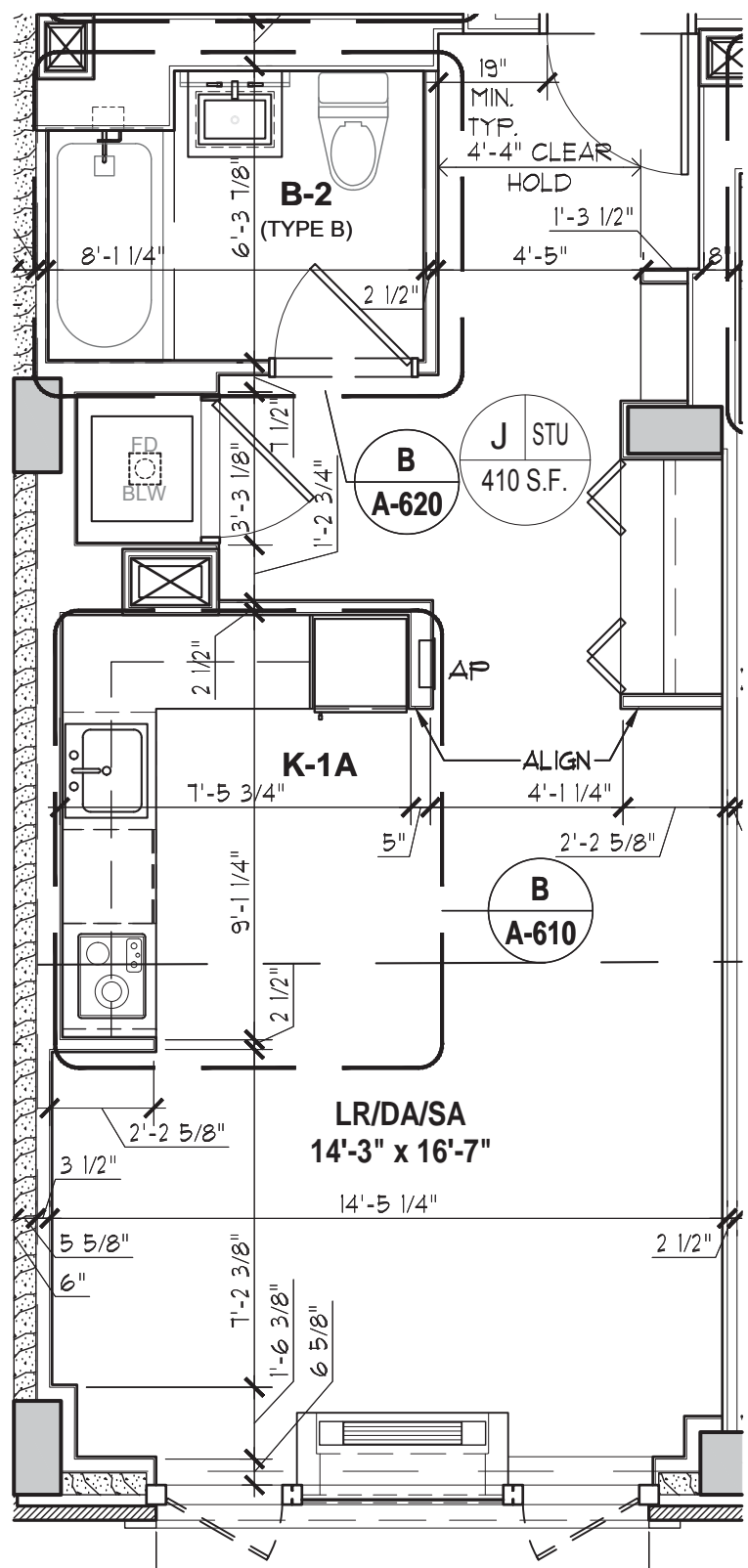
INCLUSIONARY HOUSING UNIT AT 5TH, 7TH & 9TH FLOOR

2 UNIT F - 5TH, 7TH & 9TH FLOOR PLAN
SCALE: 1/4" = 1'-0"



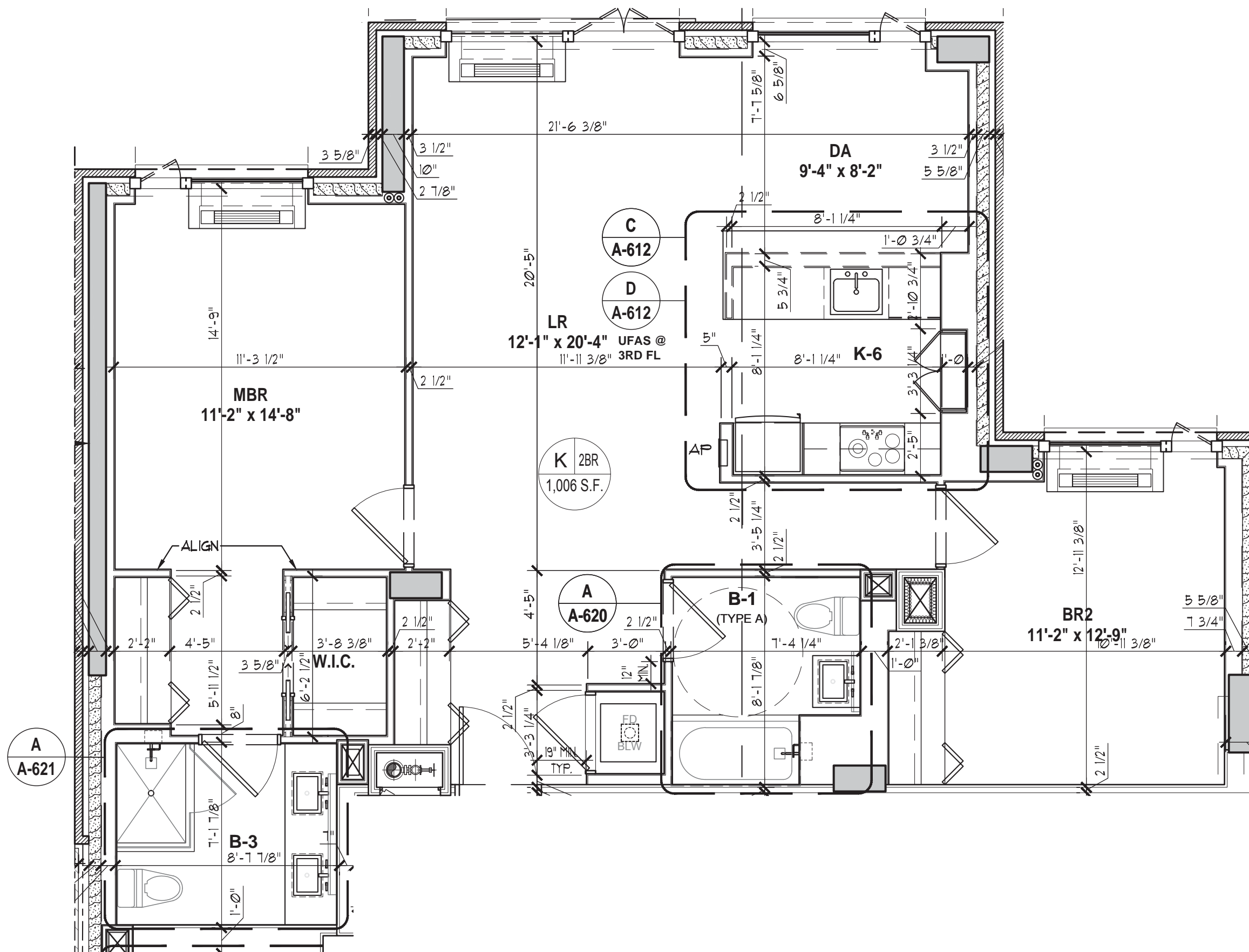
INCLUSIONARY HOUSING UNIT AT 3RD, 4TH & 6TH FLOOR

3 UNIT G - 3RD, 4TH & 6TH FLOOR PLAN
SCALE: 1/4" = 1'-0"



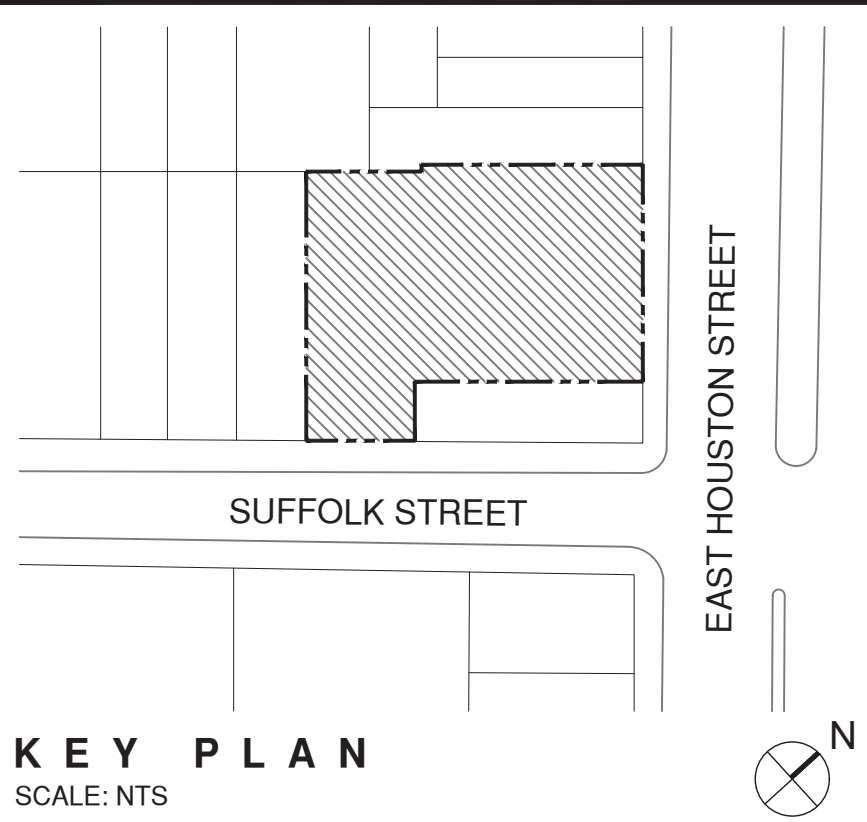
INCLUSIONARY HOUSING UNIT AT 3RD - 5TH FLOOR

4 UNIT J - 2ND - 5TH FLOOR PLAN
SCALE: 1/4" = 1'-0"



INCLUSIONARY HOUSING UNIT AT 3RD, 5TH & 6TH FLOOR

5 UNIT K - 3RD & 5TH - 6TH FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEY PLAN
SCALE: NTS

	10/14/16	HPD REVISION 1
-	02/18/16	HPD REVIEW/REBET
-	07/12/16	HPD FILING SET

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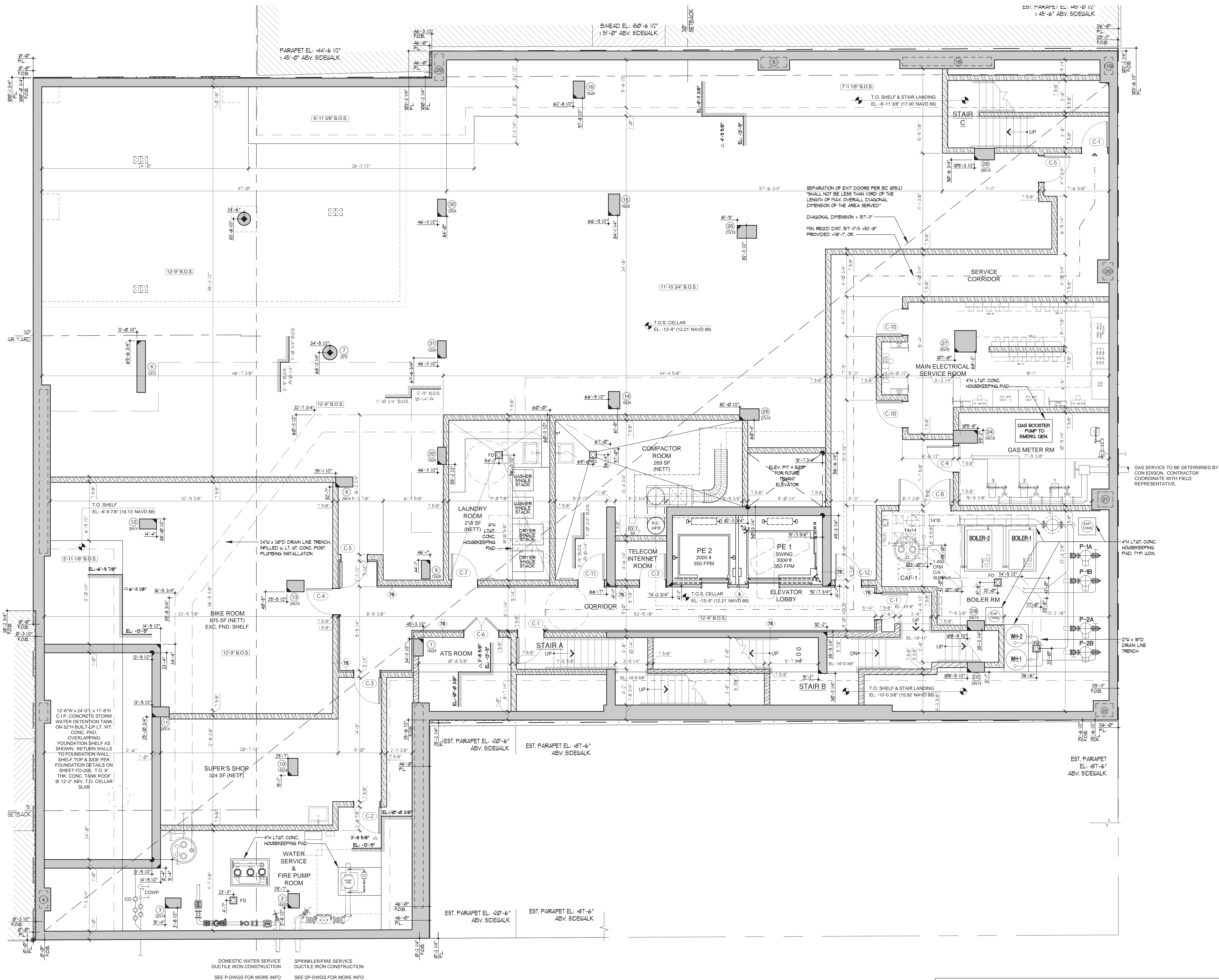
DOB # 1 2 1 1 8 9 7 1 1

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Drawing Title:
INCLUSIONARY HOUSING
AFFORDABLE APT. PLANS

SEAL & SIGNATURE:

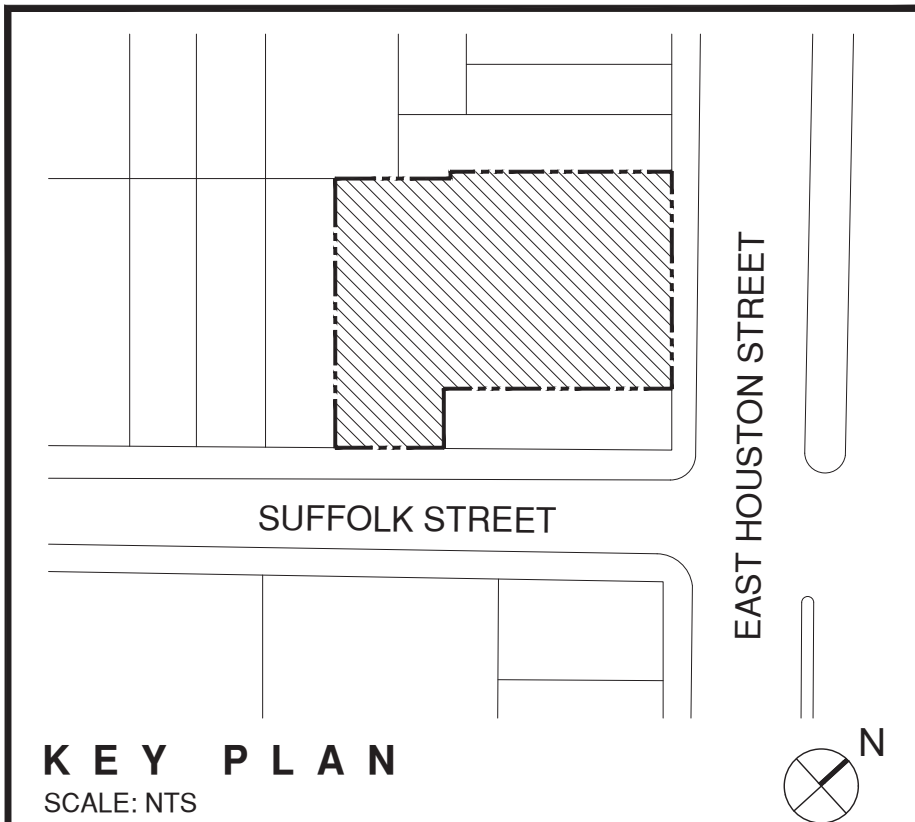
DATE: 07/12/2016
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-050.00
CDD REF: 2/14/16 - A-050 - 1P MC 10036 PLAN.dwg 9 OF 40



1 PROPOSED CELLAR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
- ON ALL UNIT ENTRY DOORS, HOLD 18" CLEAR FROM FACE OF LATCH SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE SIDE JAMB TO THE NEXT ADJACENT WALL.
- APARTMENTS SHALL BE SEALED TO REDUCE AIR EXCHANGE BETWEEN THE APARTMENT AND OUTSIDE, AS WELL AS THE APARTMENT AND OTHER ADJACENT SPACES. A MAXIMUM AIR LEAKAGE RATE OF 0.30 CFM PER SQ. FT. OF ENCLOSURE IS ALLOWED.
- ALL DOORS OPENING INTO THE CORRIDOR, INCLUDING ELEVATOR DOORS, SHALL BE SMOKE & DRAFT CONTROLLED PER BC 715.4.3.1 TESTED PER UL 1784 TEST CONDUCTED WITHOUT ARTIFICIAL BOTTOM SEAL.
- REFER TO A-400-SERIES WALL SECTIONS FOR EXTERIOR WALL ASSEMBLIES & SHEET A-500 FOR INTERIOR PARTITION ASSEMBLIES.
- ENSURE ALL RATED INTERIOR DEMISING PARTITIONS ARE FULLY FIRE-SAFED IN CONNECTING TO THE EXTERIOR WALL, AND TO EACH OTHER PER DETAILS ON SHEET A-501.
- ACOUSTIC & THERMAL INSULATION TO BE ENSURED PER DRAWINGS & SPECIFICATIONS.



KEY PLAN
SCALE: NTS

10/14/16	HPD REVISION 1
07/12/16	HPD FILING SET
06/29/16	FOUNDATION BID SET
08/14/15	DOB FILING SET

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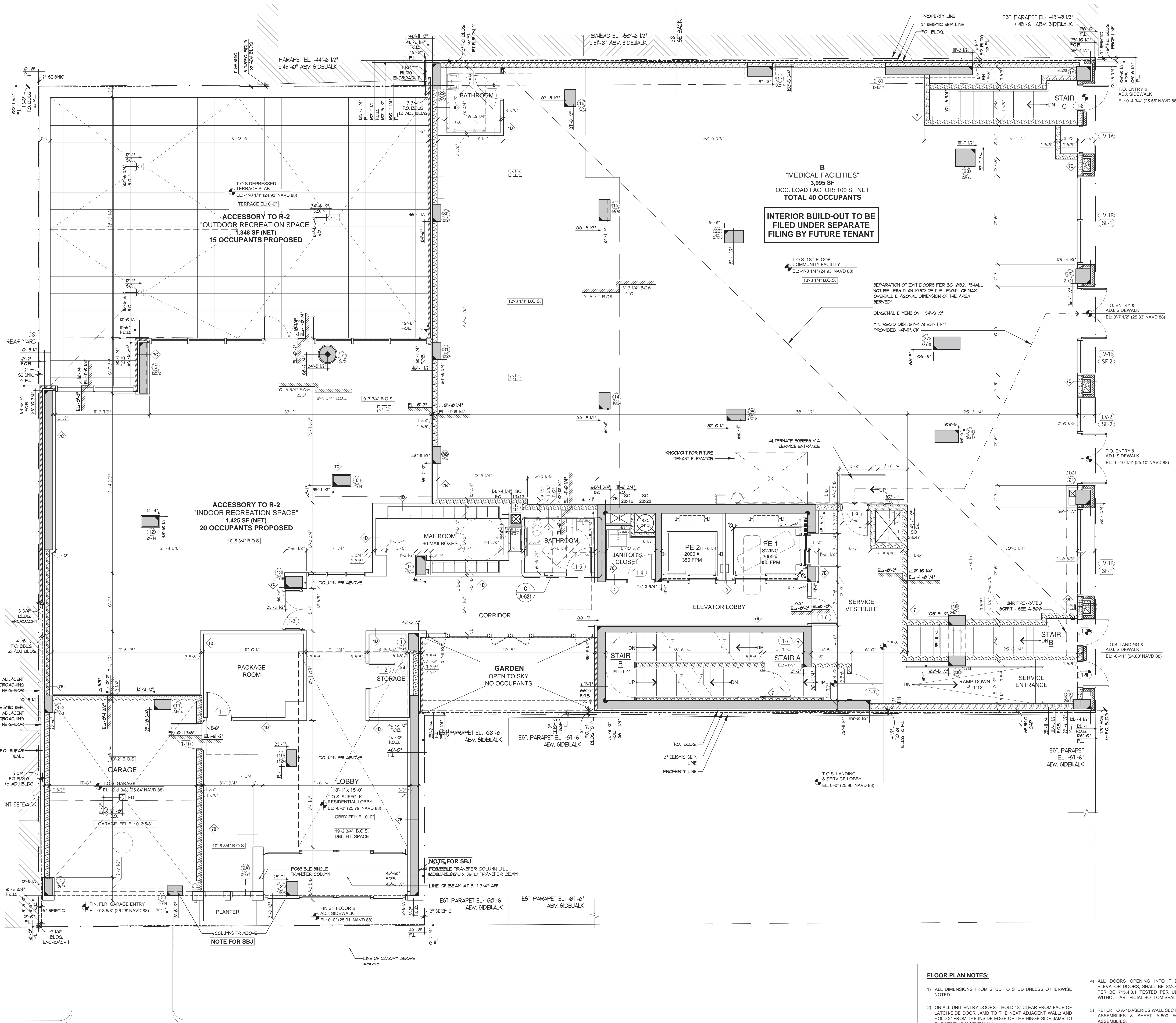
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DOB # 1 2 1 1 8 9 7 1 1

255 EAST HOUSTON ST.
MANHATTAN, N.Y. 10002

Drawing Title:
CELLAR FLOOR PLAN

SEAL & SIGNATURE: [Signature]
DATE: 08/14/2015
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-100.00
DWO: RBT
6/14/16 - 8/10/16 - 10/16/16 - 12/16/16 - 2/17/17 - 4/17/17 - 6/17/17 - 8/17/17 - 10/17/17 - 12/17/17 - 2/18/18 - 4/18/18 - 6/18/18 - 8/18/18 - 10/18/18 - 12/18/18 - 2/19/19 - 4/19/19 - 6/19/19 - 8/19/19 - 10/19/19 - 12/19/19 - 2/20/20 - 4/20/20 - 6/20/20 - 8/20/20 - 10/20/20 - 12/20/20 - 2/21/21 - 4/21/21 - 6/21/21 - 8/21/21 - 10/21/21 - 12/21/21 - 2/22/22 - 4/22/22 - 6/22/22 - 8/22/22 - 10/22/22 - 12/22/22 - 2/23/23 - 4/23/23 - 6/23/23 - 8/23/23 - 10/23/23 - 12/23/23 - 2/24/24 - 4/24/24 - 6/24/24 - 8/24/24 - 10/24/24 - 12/24/24 - 2/25/25 - 4/25/25 - 6/25/25 - 8/25/25 - 10/25/25 - 12/25/25 - 2/26/26 - 4/26/26 - 6/26/26 - 8/26/26 - 10/26/26 - 12/26/26 - 2/27/27 - 4/27/27 - 6/27/27 - 8/27/27 - 10/27/27 - 12/27/27 - 2/28/28 - 4/28/28 - 6/28/28 - 8/28/28 - 10/28/28 - 12/28/28 - 2/29/29 - 4/29/29 - 6/29/29 - 8/29/29 - 10/29/29 - 12/29/29 - 2/30/30 - 4/30/30 - 6/30/30 - 8/30/30 - 10/30/30 - 12/30/30 - 2/31/31 - 4/31/31 - 6/31/31 - 8/31/31 - 10/31/31 - 12/31/31 - 2/32/32 - 4/32/32 - 6/32/32 - 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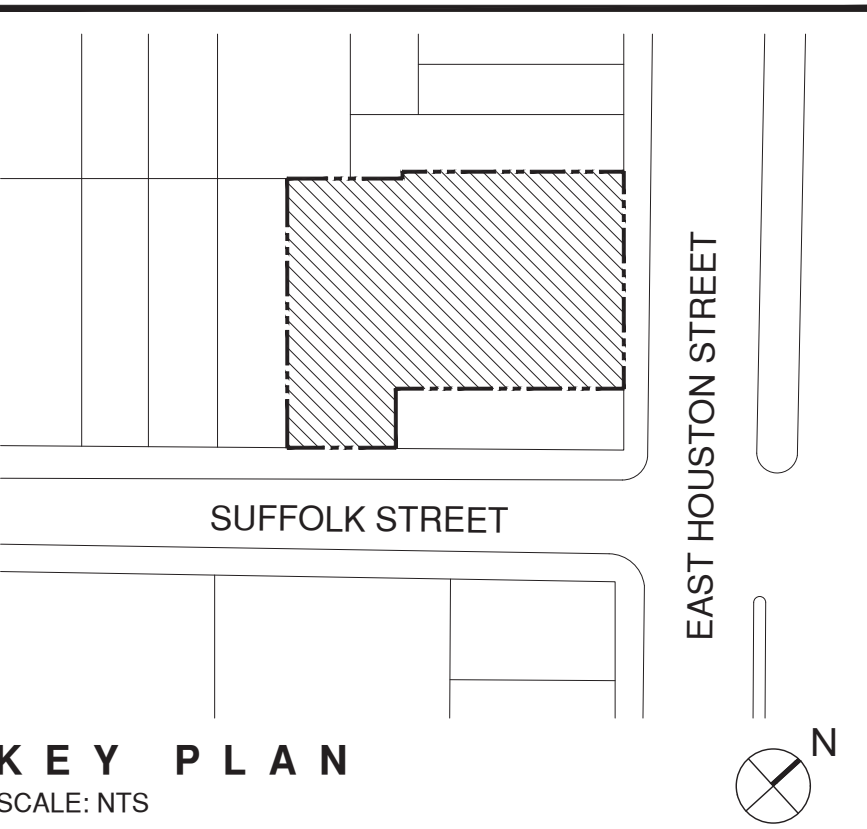


SUFFOLK STREET (50 FT WIDE)

1 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
- ON ALL UNIT ENTRY DOORS, HOLD 18" CLEAR FROM FACE OF LATCH-SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE-SIDE JAMB TO THE NEXT ADJACENT WALL.
- APARTMENTS SHALL BE SEALED TO REDUCE AIR EXCHANGE BETWEEN THE APARTMENT AND OUTSIDE, AS WELL AS THE APARTMENT AND OTHER ADJACENT SPACES. A MAXIMUM AIR LEAKAGE RATE OF 0.30 CFM PER SQ. FT. OF ENCLOSURE IS ALLOWED.
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- REFER TO A-400-SERIES WALL SECTIONS FOR EXTERIOR WALL ASSEMBLIES & SHEET A-500 FOR INTERIOR PARTITION ASSEMBLIES.
- ENSURE ALL RATED INTERIOR DEMISING PARTITIONS ARE FULLY FIRE-SAFED IN CONNECTION TO THE EXTERIOR WALL, AND TO EACH OTHER PER DETAILS ON SHEET A-501.
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SCALE: NTS

10/14/16	HPD REVISION 1
07/12/16	HPD FILING SET
06/29/16	FOUNDATION BID SET
08/14/15	DOB FILING SET

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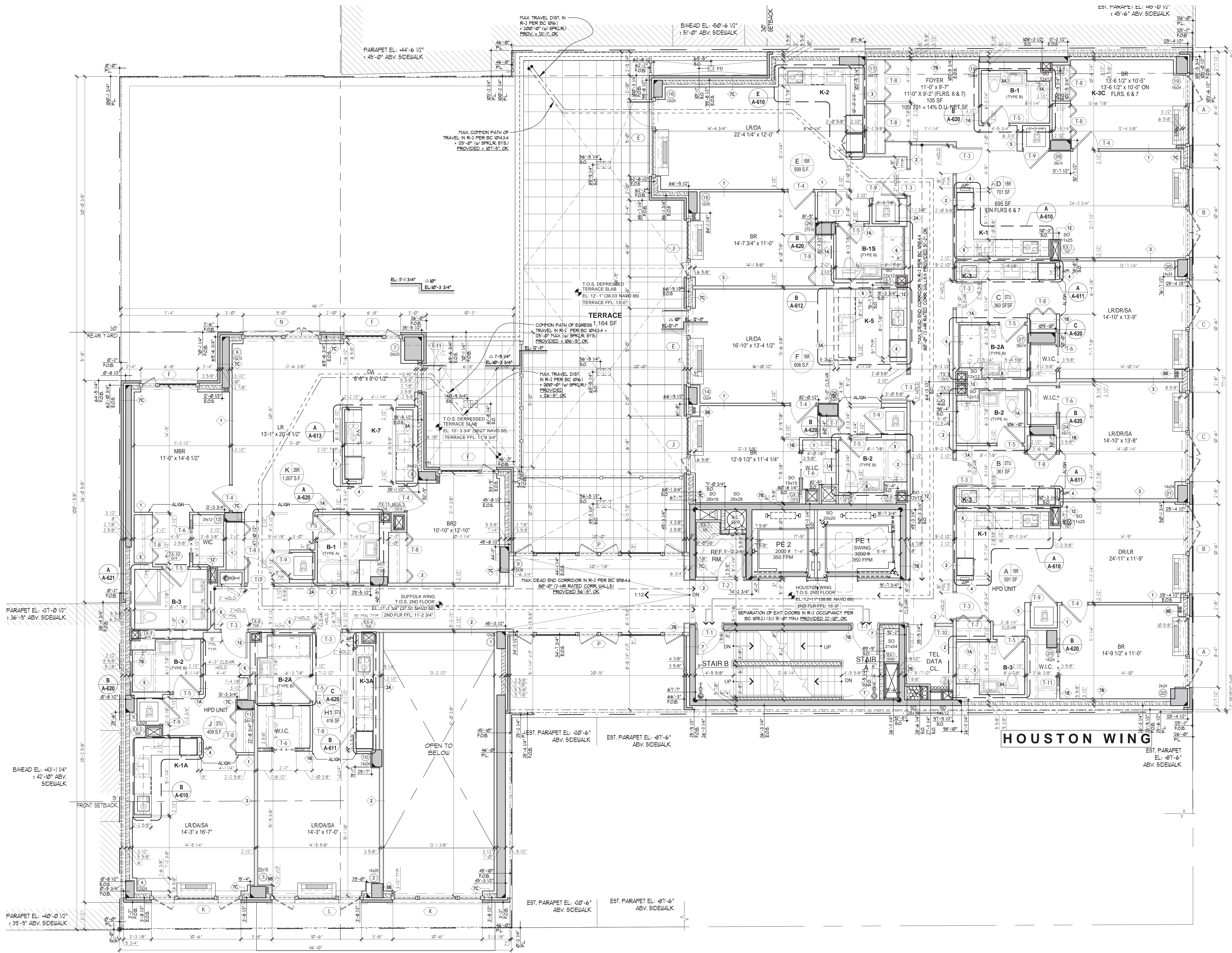
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DOB # 121189711

255 EAST HOUSTON ST.
MANHATTAN, N.Y. 10002

Drawing Title:
1ST FLOOR PLAN

SEAL & SIGNATURE:
REGISTERED ARCHITECT
STEPHEN B. JACOBS
DATE OF EXPIRATION: 08/14/2015
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-101.00
DOWNS: 2/14/16 - 3/10/16 - 10/16/16 - 10/16/16
09 OF 40



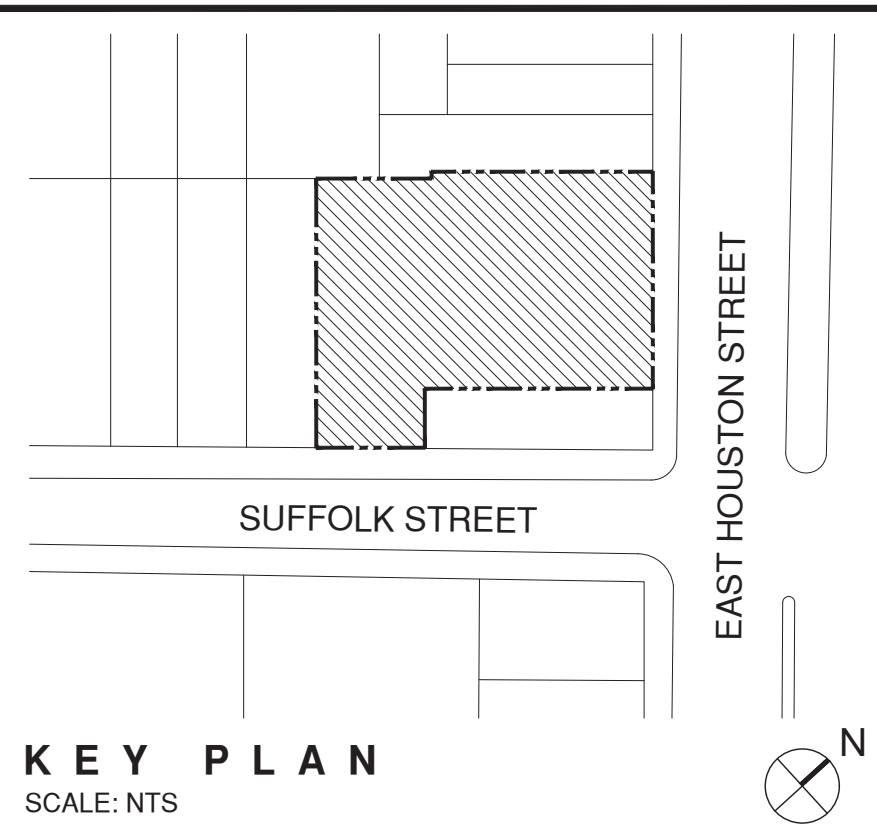
SUFFOLK WING

1 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

HOUSTON WING

FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
- ON ALL UNIT ENTRY DOORS, HOLD 18" CLEAR FROM FACE OF LATCH-SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE-SIDE JAMB TO THE NEXT ADJACENT WALL.
- APARTMENTS SHALL BE SEALED TO REDUCE AIR EXCHANGE BETWEEN THE APARTMENT AND OUTSIDE, AS WELL AS THE APARTMENT AND OTHER ADJACENT SPACES. A MAXIMUM AIR LEAKAGE RATE OF 0.30 CFM PER SQ. FT. OF ENCLOSURE IS ALLOWED.
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- REFER TO A-400-SERIES WALL SECTIONS FOR EXTERIOR WALL ASSEMBLIES & SHEET A-500 FOR INTERIOR PARTITION ASSEMBLIES.
- ENSURE ALL RATED INTERIOR DEMISING PARTITIONS ARE FULLY FIRE-SAFED IN CONNECTING TO THE EXTERIOR WALL, AND TO EACH OTHER PER DETAILS ON SHEET A-501.
- ACOUSTIC & THERMAL INSULATION TO BE ENSURED PER DRAWINGS & SPECIFICATIONS.



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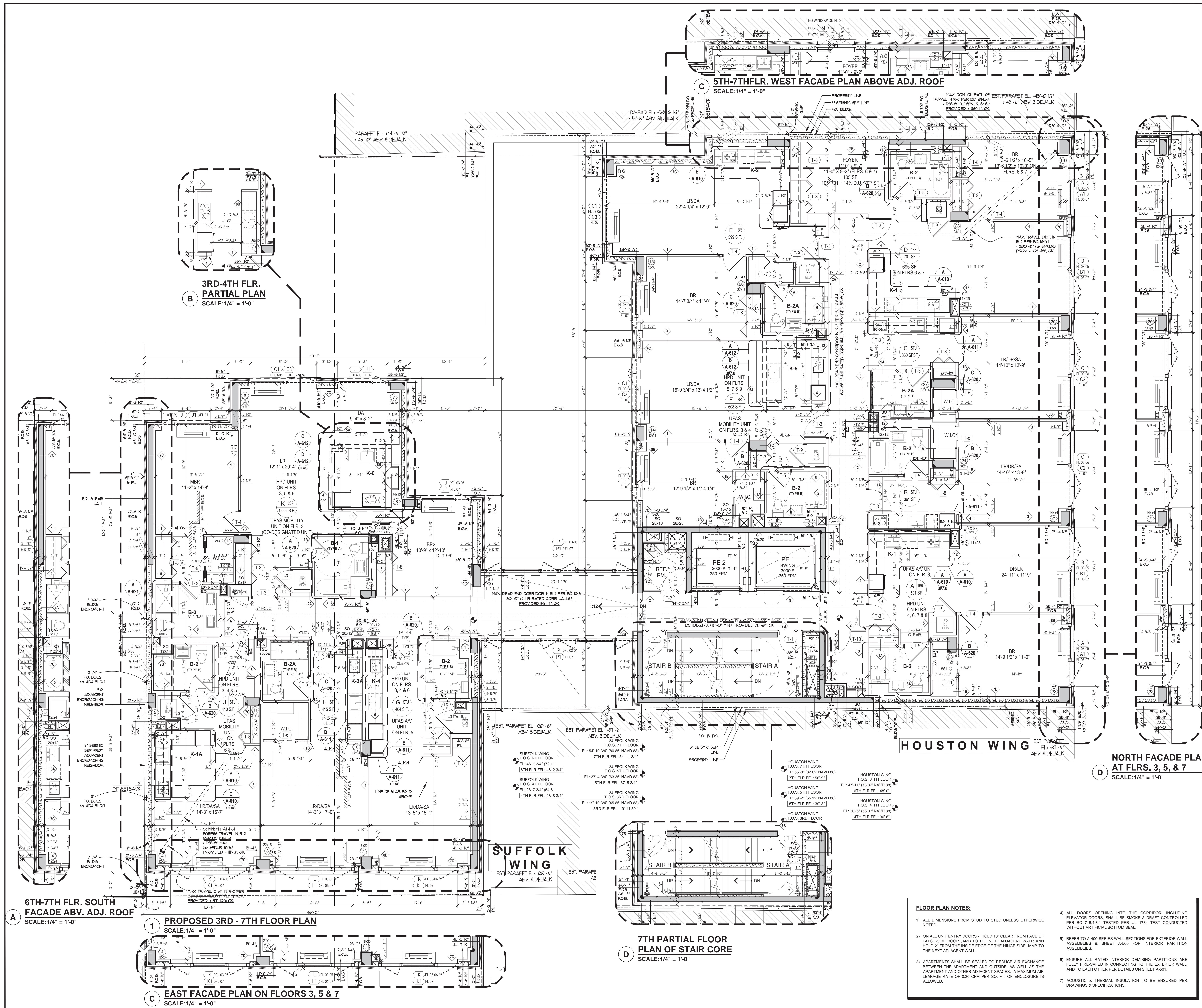
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Drawing Title:
2ND FLOOR PLAN

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PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: **A-102.00**
DWO REF: 2/148 - 3-110-115 - ROCK PARKING 10 OF 40



SUFFOLK STREET

EAST HOUSTON STREET

KEY PLAN
SCALE: NTS

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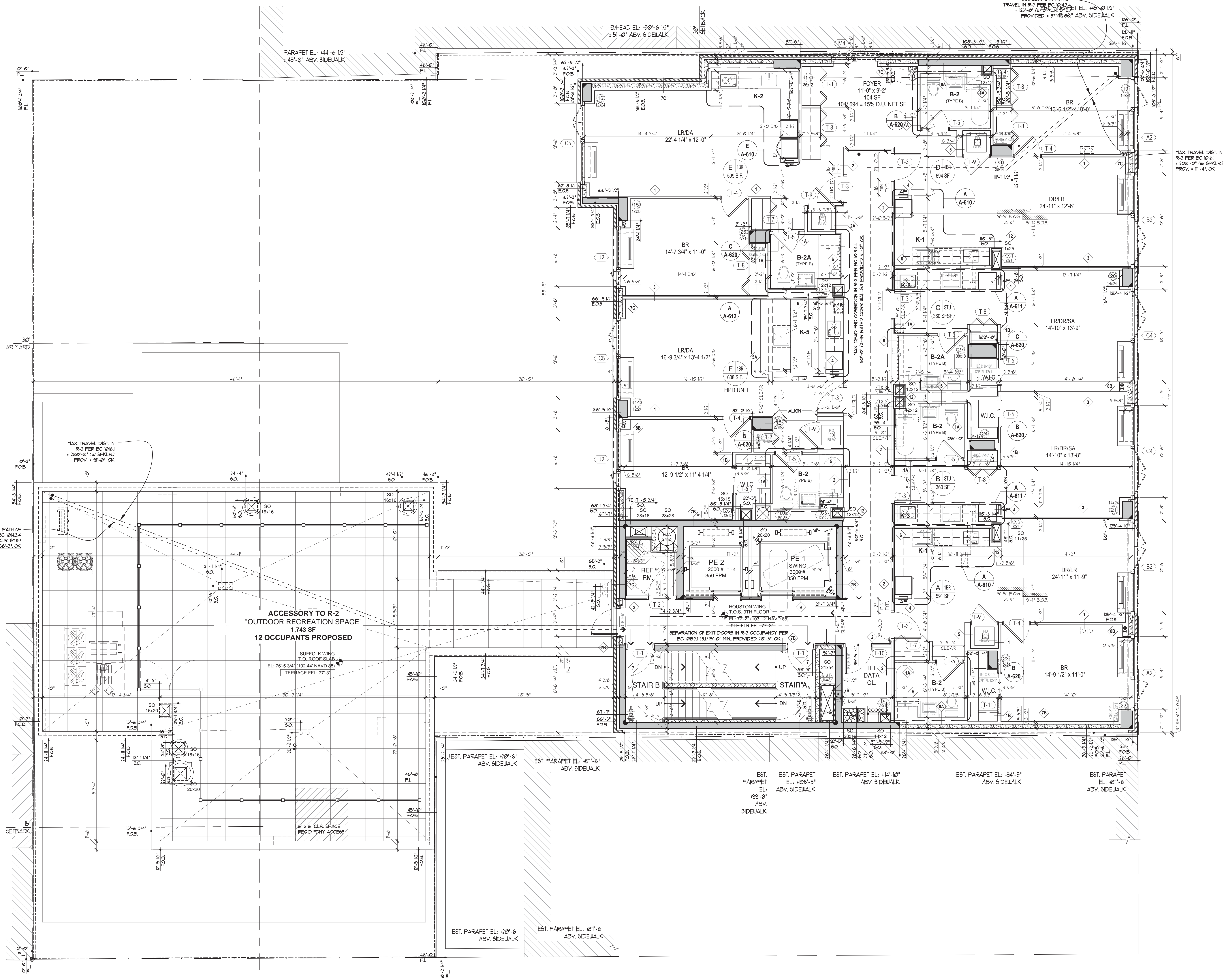
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DATE: 08/14/2015
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO. A-103.00

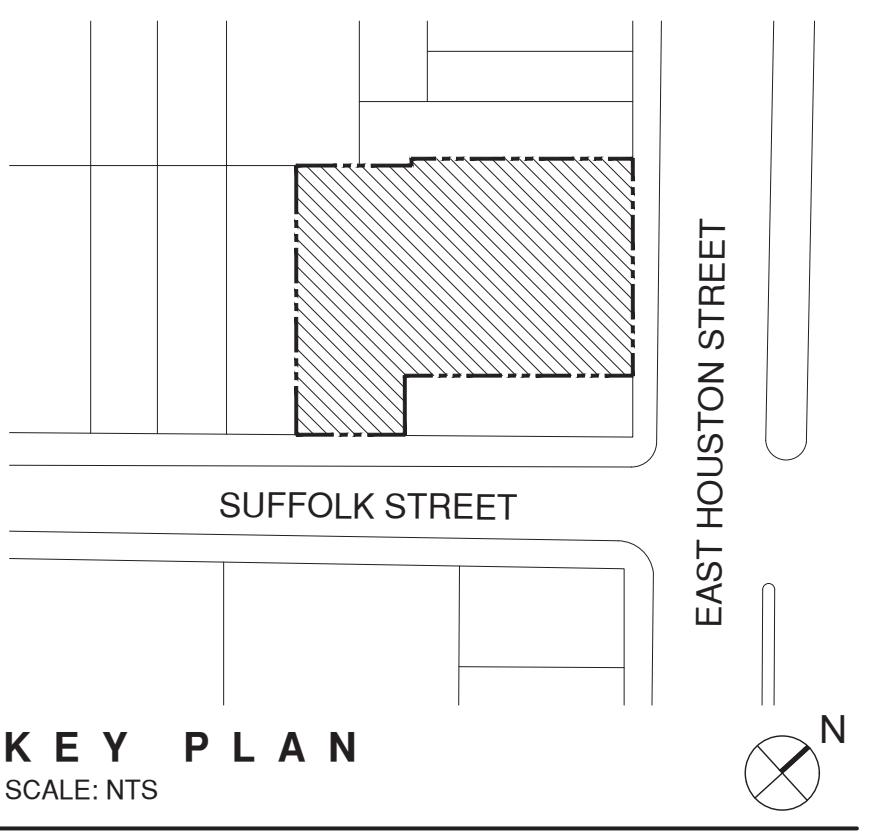
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CAD REF:		
G2/144 - A-100-10 - FLOOR PLANS		11 of 40



1 PROPOSED 9TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES:**
- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
 - ON ALL UNIT ENTRY DOORS, HOLD 18" CLEAR FROM FACE OF LATCH-SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE-SIDE JAMB TO THE NEXT ADJACENT WALL.
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 - ENSURE ALL RATED INTERIOR DEMISING PARTITIONS ARE FULLY FIRE-SAFED IN CONNECTION TO THE EXTERIOR WALL, AND TO EACH OTHER PER DETAILS ON SHEET A-501.
 - ACOUSTIC & THERMAL INSULATION TO BE ENSURED PER DRAWINGS & SPECIFICATIONS.



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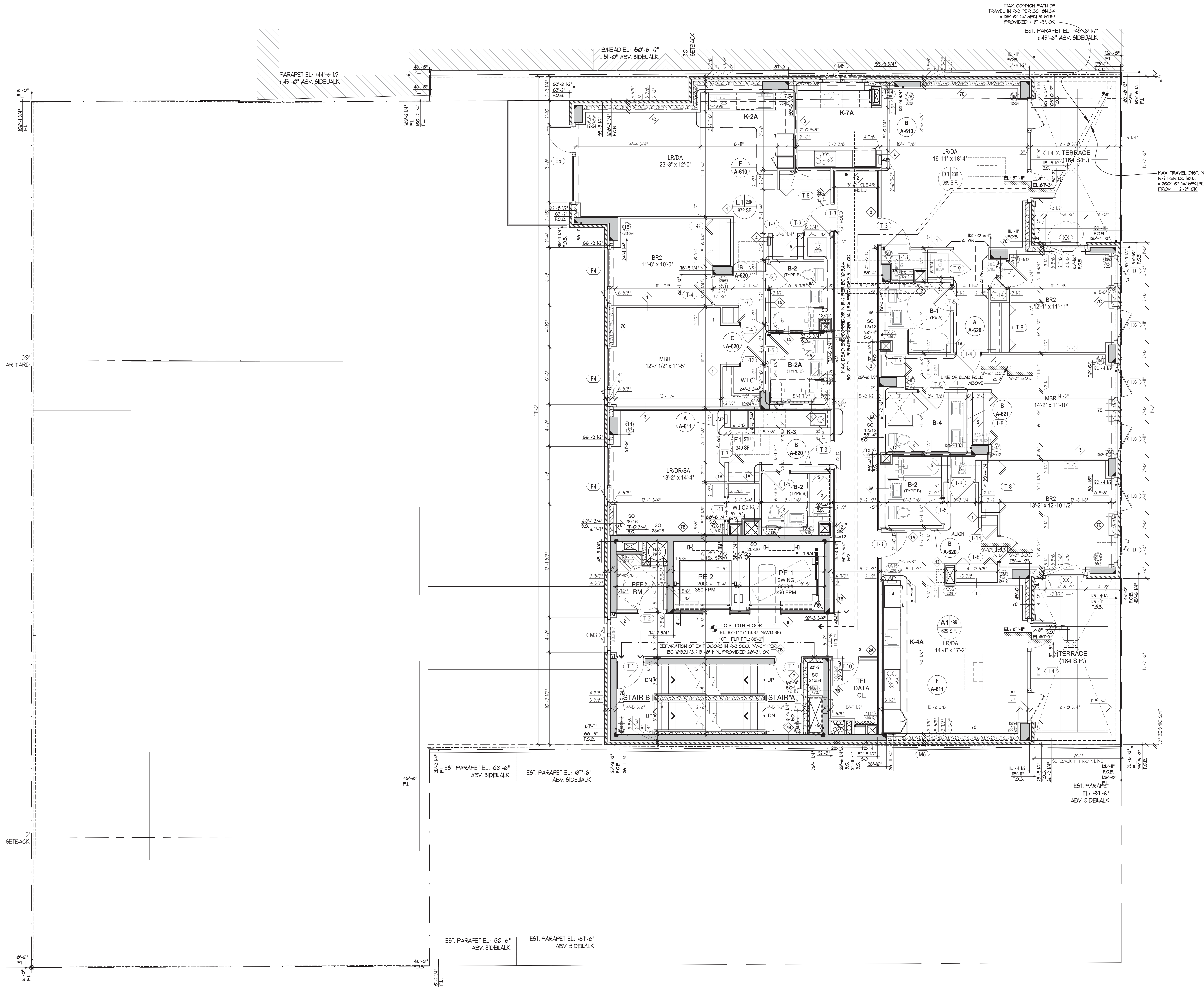
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Drawing Title:
9TH FLOOR PLAN

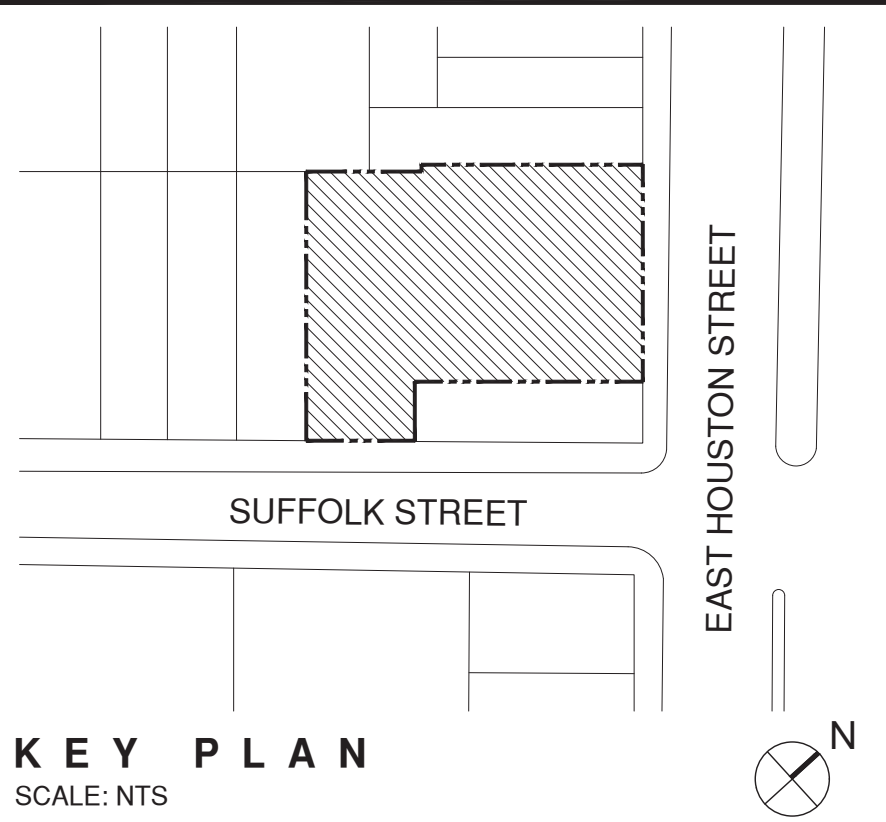
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DRAWING SCALE: AS NOTED
DRAWING NO.: A-105.00
DOW: 657
6/14/16 - 3-10-16 - 100% FINAL



1 PROPOSED 10TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
- ON ALL UNIT ENTRY DOORS, HOLD 18" CLEAR FROM FACE OF LATCH-SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE-SIDE JAMB TO THE NEXT ADJACENT WALL.
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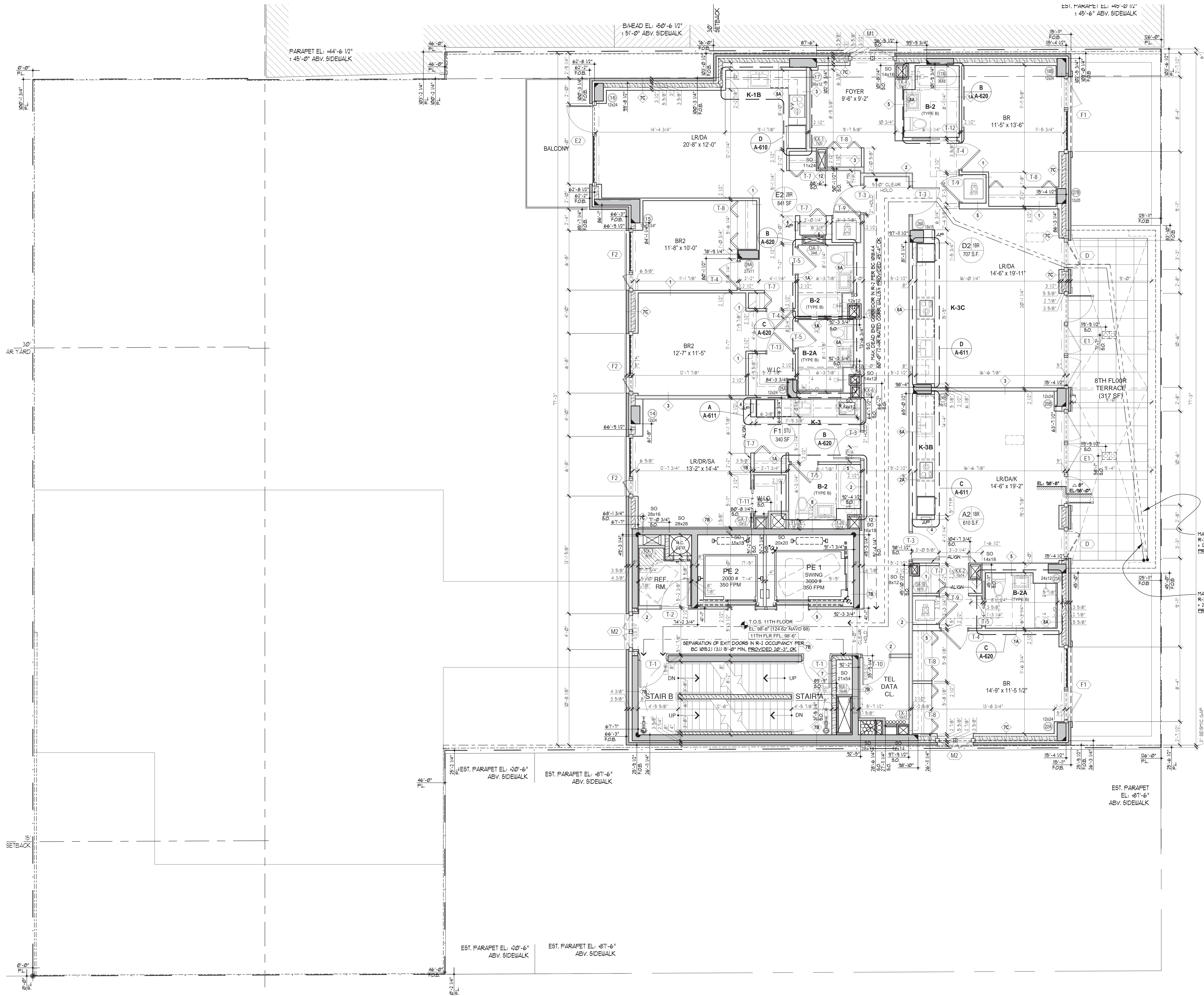
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Drawing Title:
10TH FLOOR PLAN

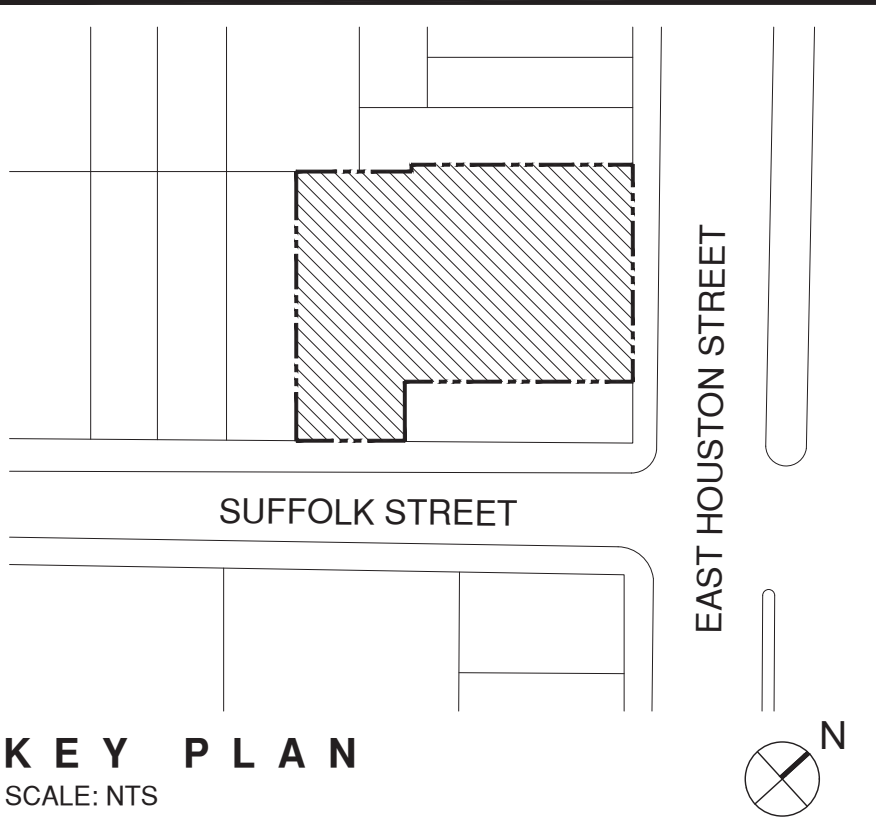
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1 PROPOSED 11TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
- ON ALL UNIT ENTRY DOORS: HOLD 18" CLEAR FROM FACE OF LATCH-SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE-SIDE JAMB TO THE NEXT ADJACENT WALL.
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- ACOUSTIC & THERMAL INSULATION TO BE ENSURED PER DRAWINGS & SPECIFICATIONS.



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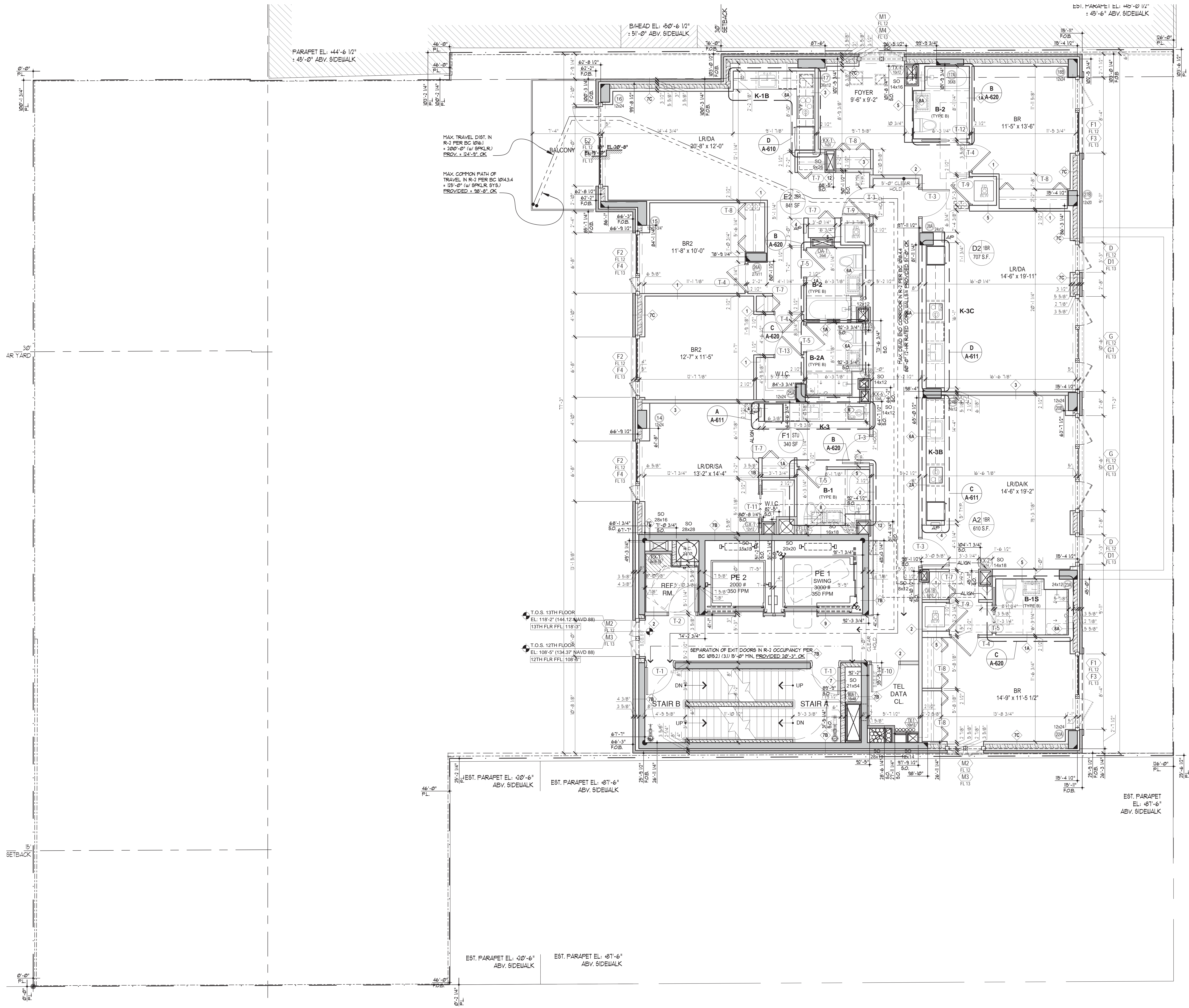
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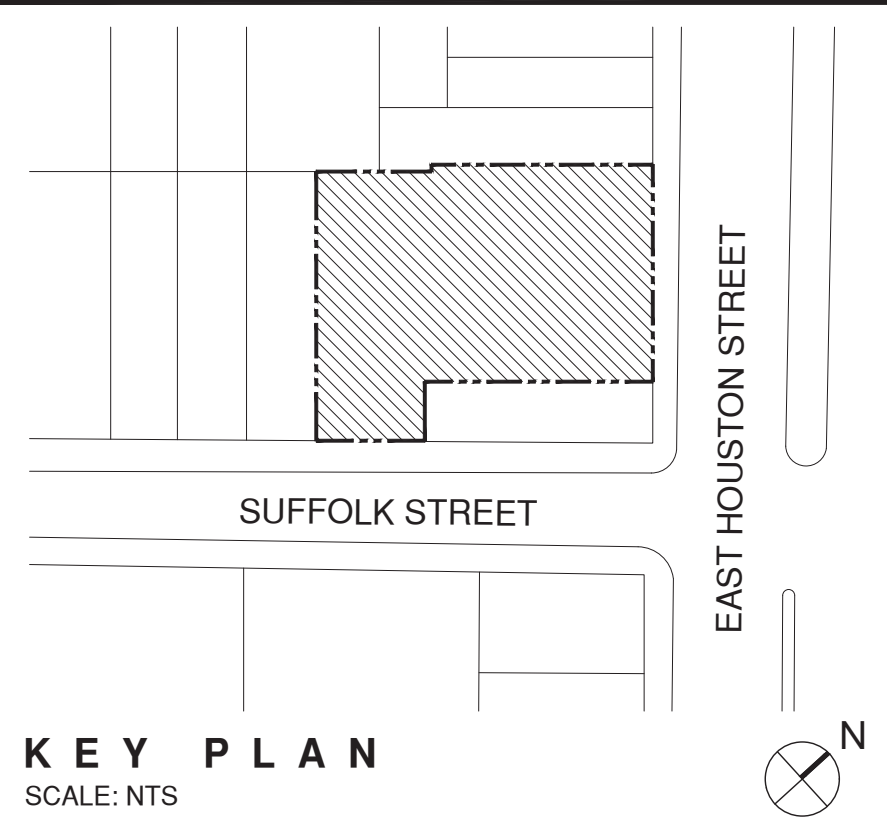
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A-107.00
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6/14/16 - 4:10:10 - RDX: PRC:mg
13 OF 40



1 PROPOSED 12TH-13TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
- ON ALL UNIT ENTRY DOORS, HOLD 18" CLEAR FROM FACE OF LATCH-SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE-SIDE JAMB TO THE NEXT ADJACENT WALL.
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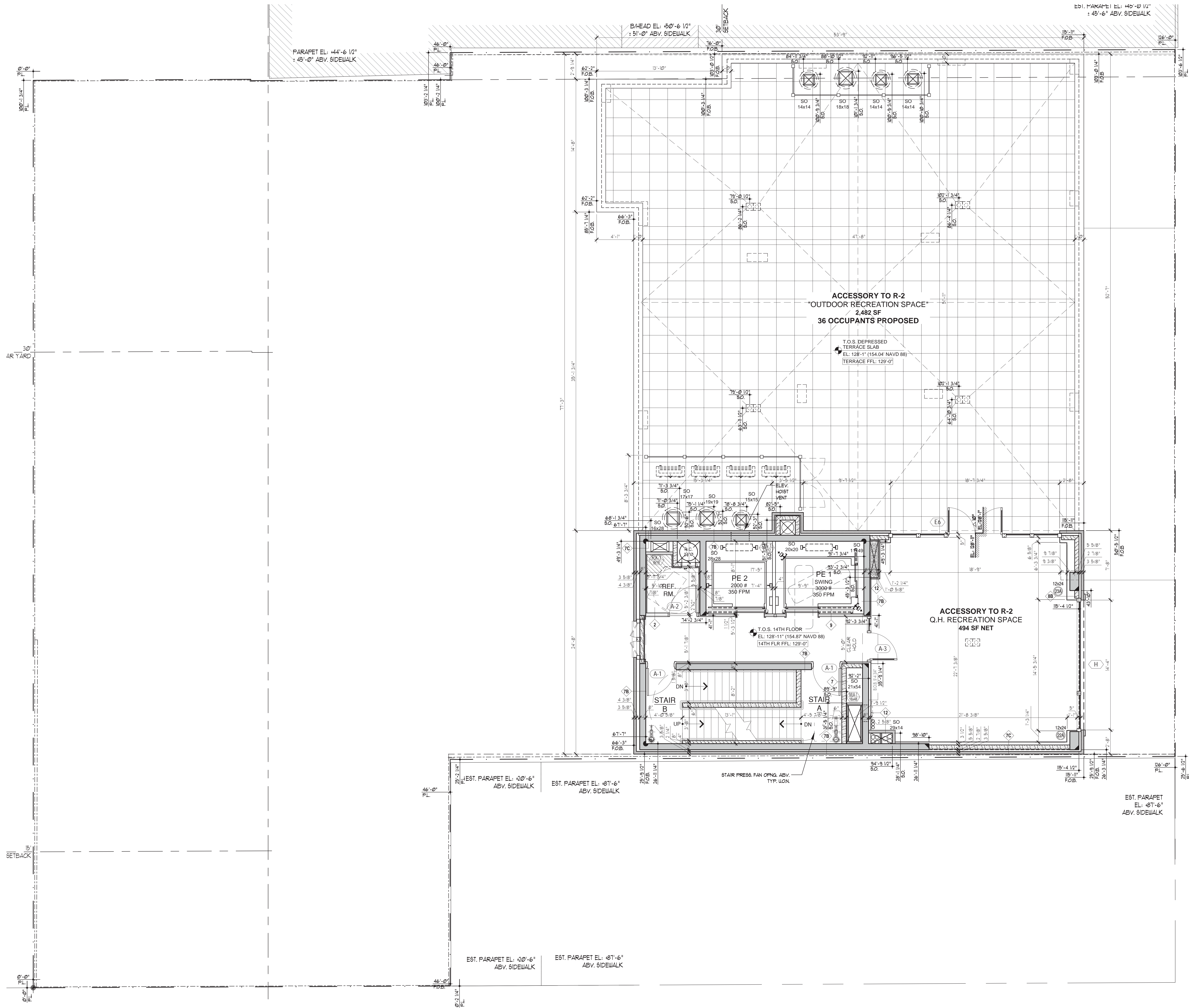
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Drawing Title:

12TH-13TH FLOOR PLAN

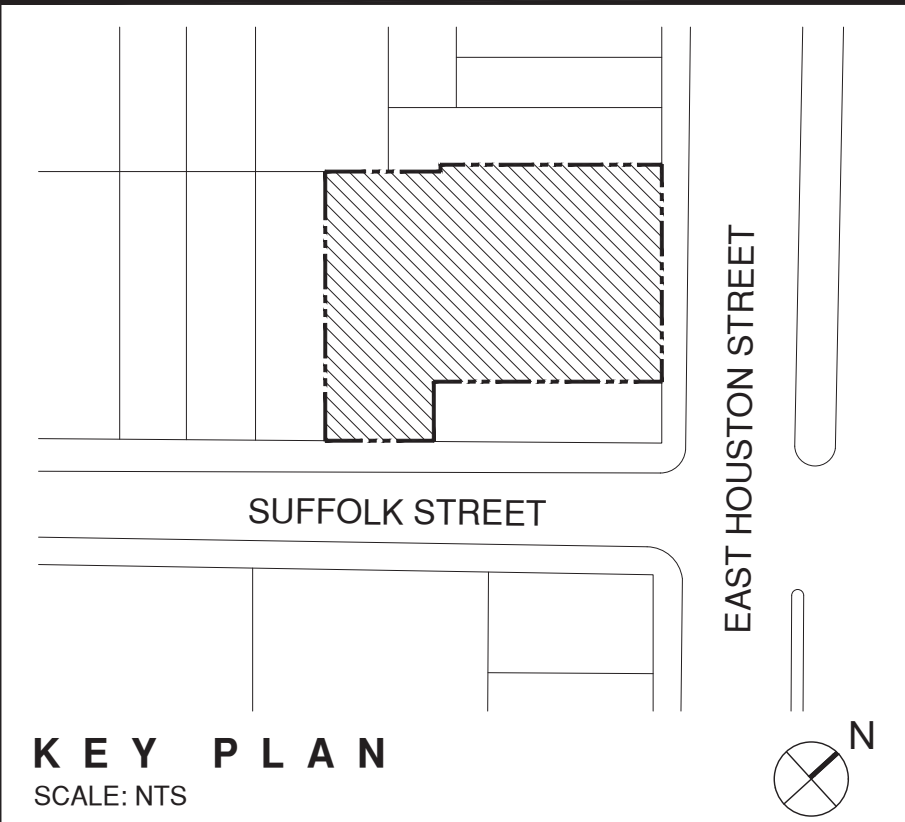
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DRAWING NO.: A-108.00
DOW: 6/5/14
6/14/14 - 11/10/15 - 11/10/15 - 11/10/15 - 11/10/15
13 OF 40



1 PROPOSED 14TH FLOOR & ROOFTOP TERRACE PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- ALL DIMENSIONS FROM STUD TO STUD UNLESS OTHERWISE NOTED.
- ON ALL UNIT ENTRY DOORS, HOLD 18" CLEAR FROM FACE OF LATCH-SIDE DOOR JAMB TO THE NEXT ADJACENT WALL, AND HOLD 2" FROM THE INSIDE EDGE OF THE HINGE-SIDE JAMB TO THE NEXT ADJACENT WALL.
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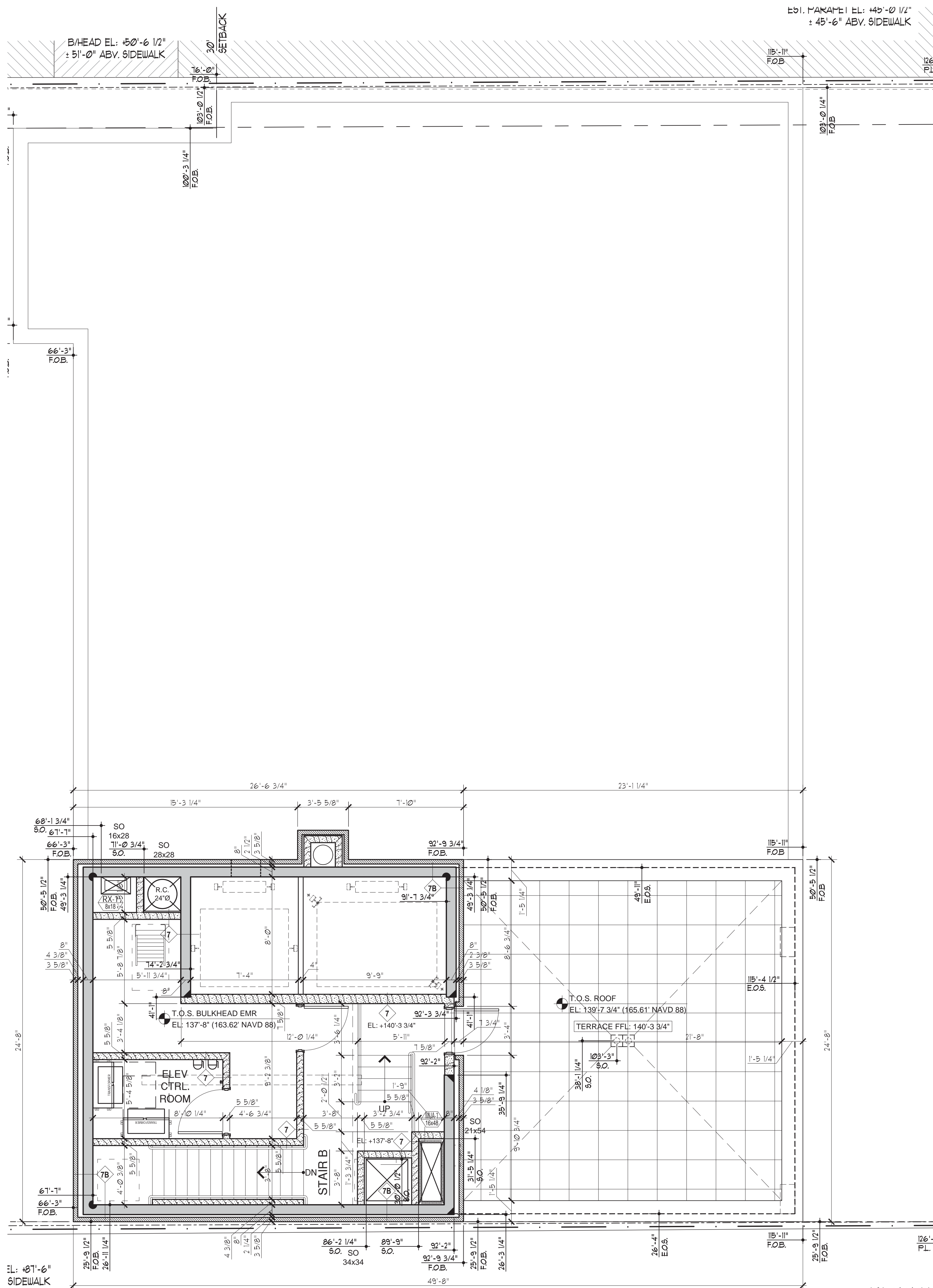
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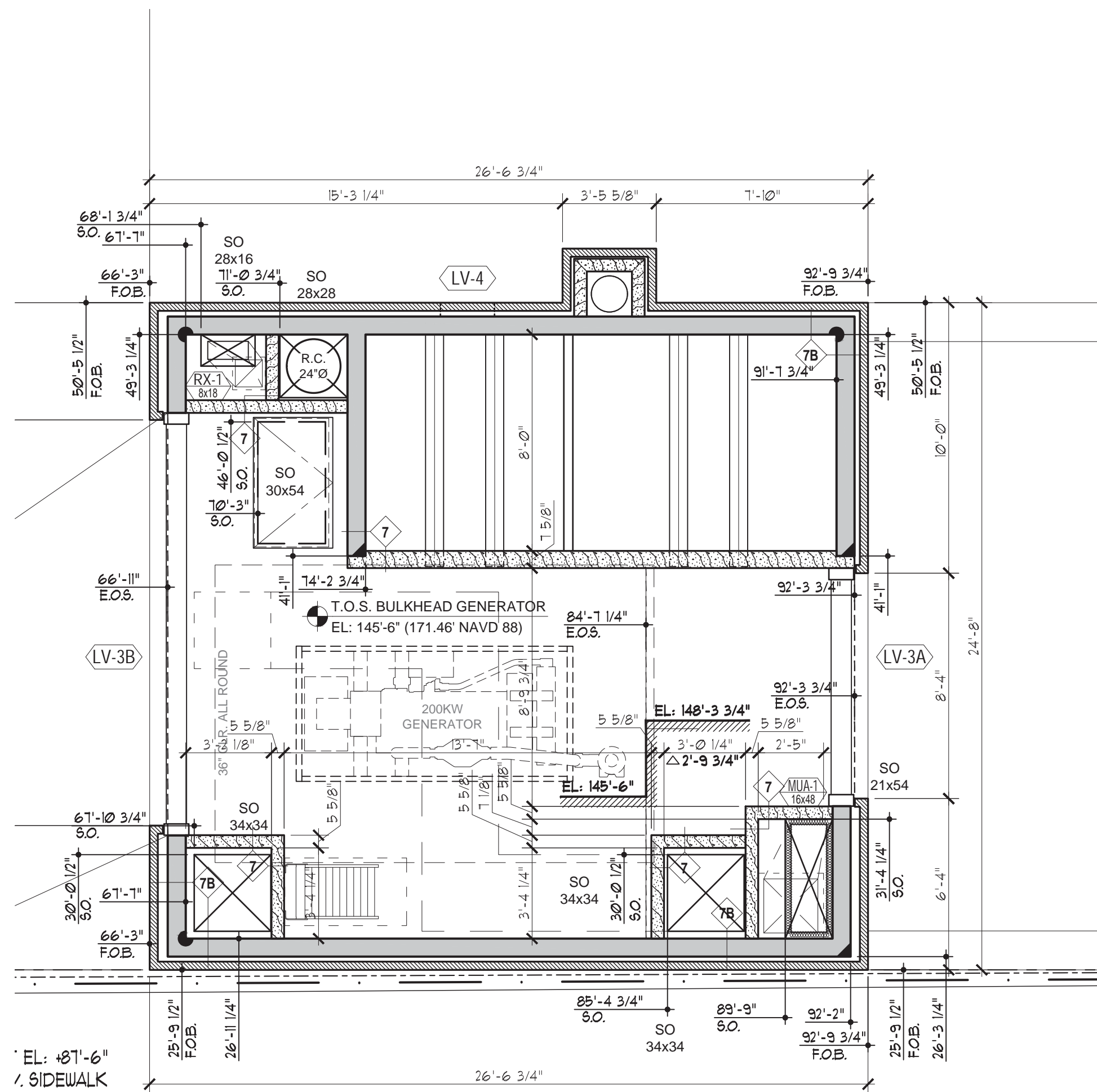
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14TH FLOOR AMENITY
& ROOFTOP TERRACE PLAN

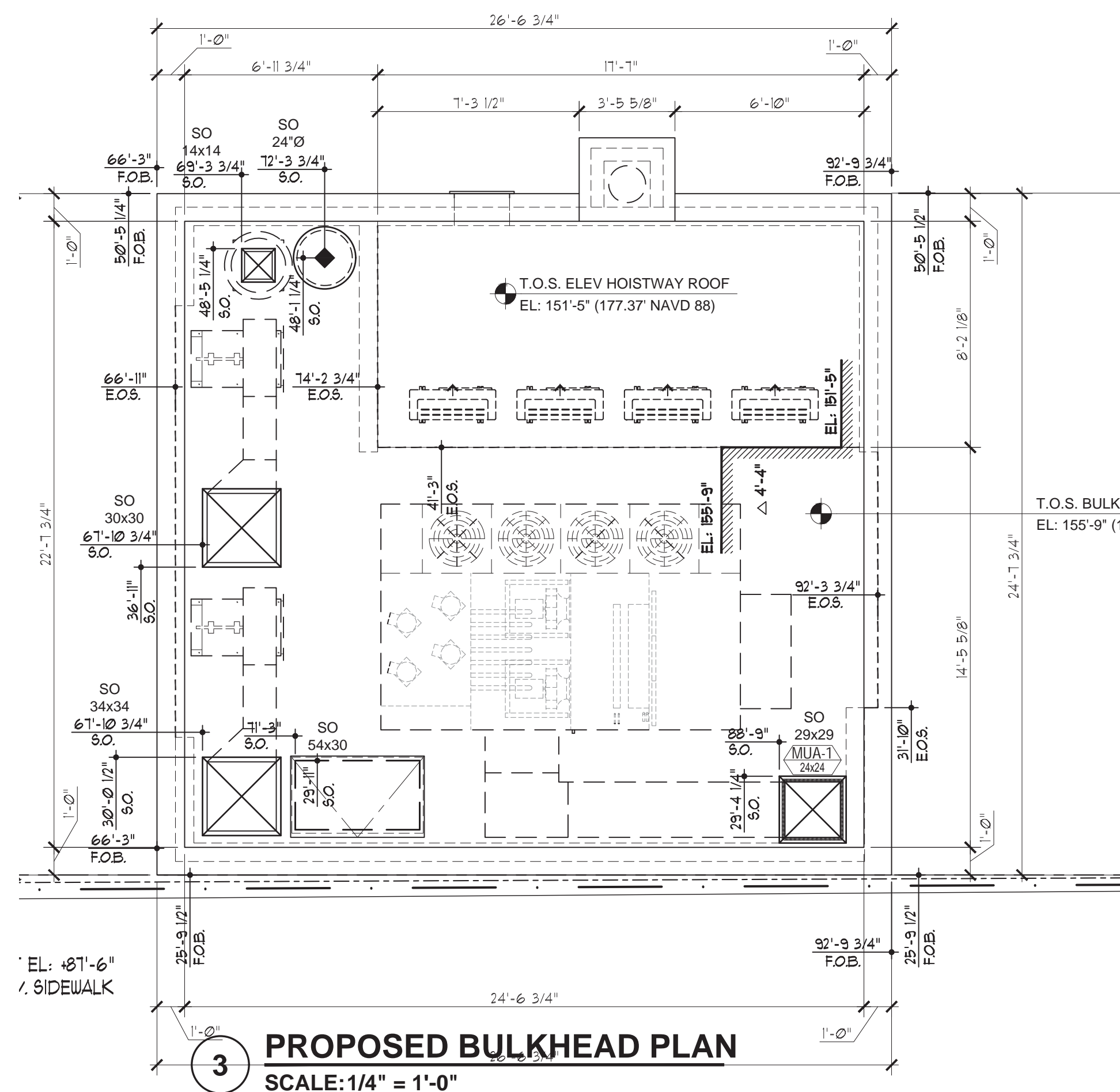
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PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-109.00
DOW: 657
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1 PROPOSED BULKHEAD EMR PLAN
SCALE: 1/4" = 1'-0"



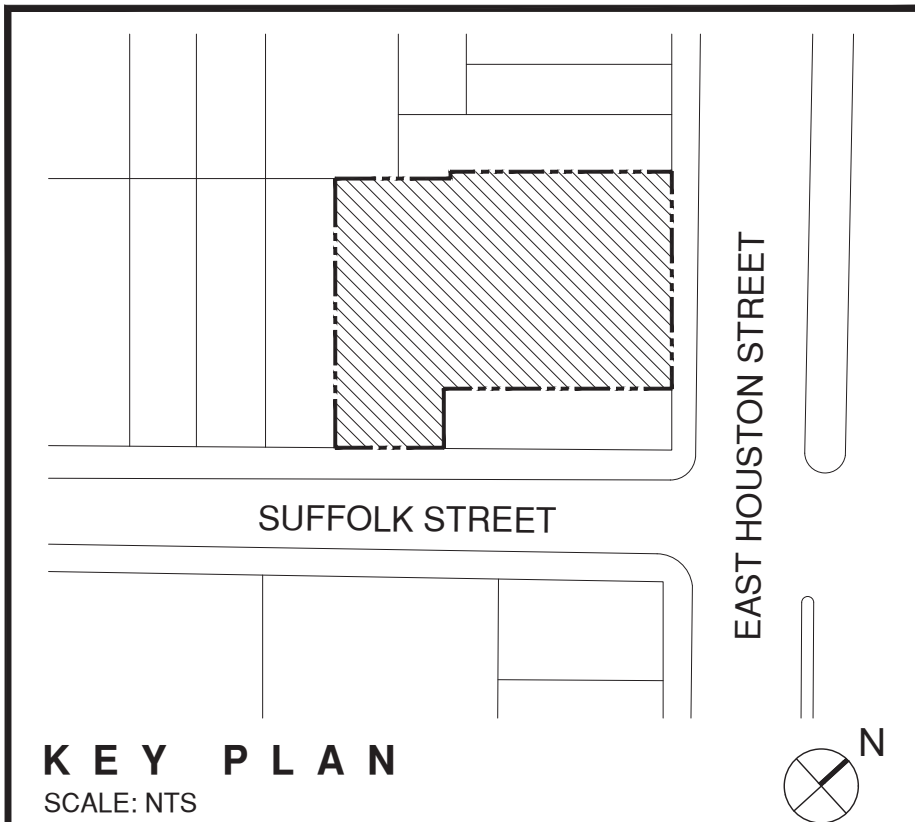
2 PROPOSED BULKHEAD GENERATOR FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED BULKHEAD PLAN
SCALE: 1/4" = 1'-0"

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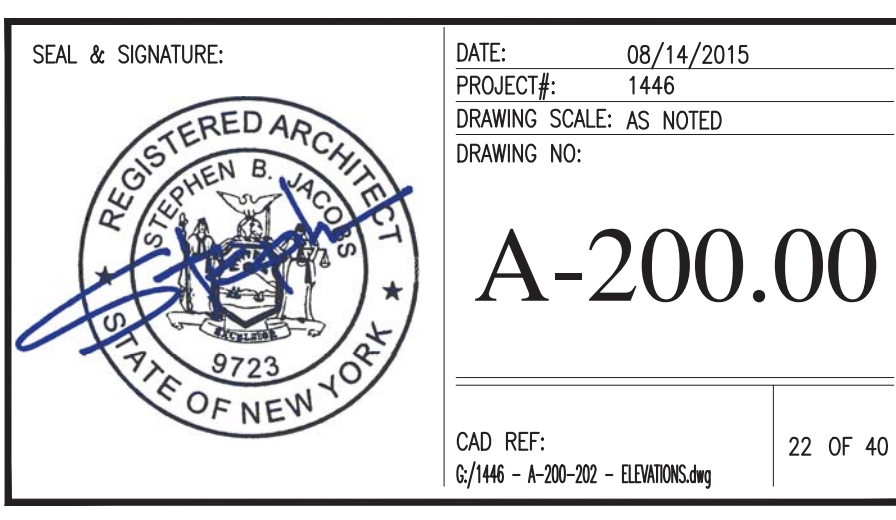
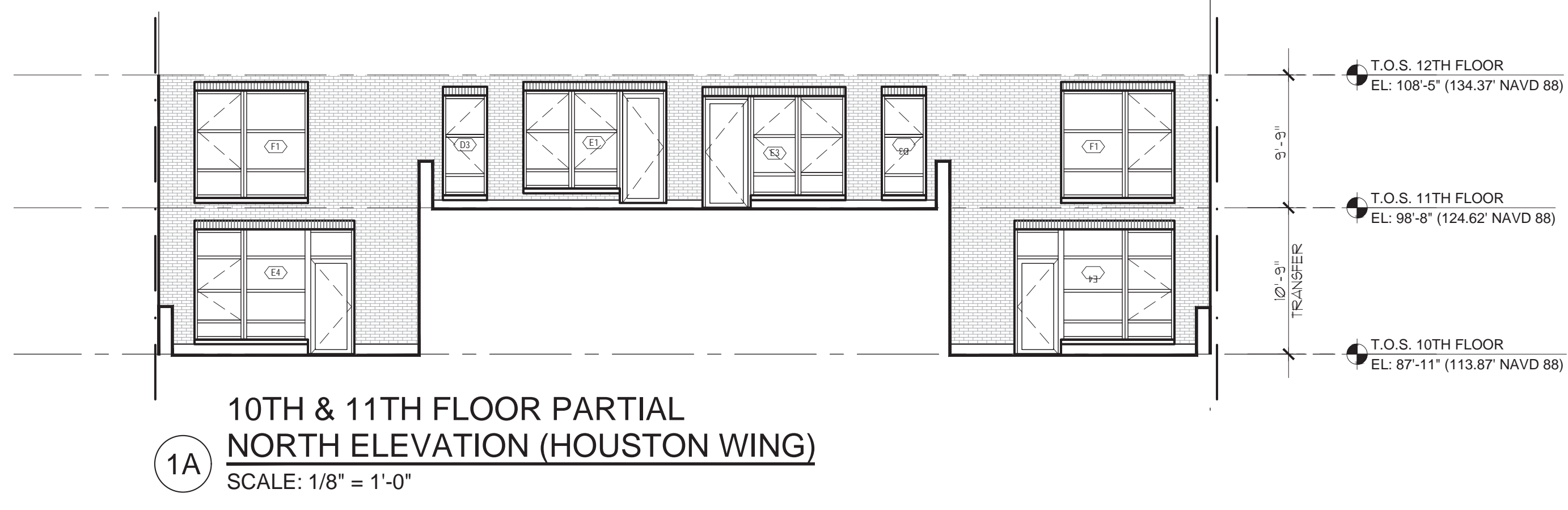
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STATE OF NEW YORK
8723
DATE: 08/14/2015
PROJECT: 1446
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	DRAWING NO:
	A-201.00
CAD REF: 2/0/146 - 8-00-201 - ELEVATIONS.dwg	23 OF 40



FINISH SCHEDULE	LOCATION	AREA DESIGNATION	FLOOR		BASE	WALL		CEILING		HGT TO FIN. CLG	REMARKS
			SUBSTRATE	FINISH		SUBSTRATE	FINISH	SUBSTRATE	FINISH		
NOTE: SEE FLOOR PLANS FOR HANGING CEILING LOCATION & BEAM DROPS	CELLAR	STAIRS A & B	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		PUBLIC CORRIDOR	CONCRETE			CONC./CMU		CONCRETE			
		LAUNDRY ROOM	CONCRETE	CT	CT	GWB	CT/PT	GWB	PT		
		COMPACTOR ROOM	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		SUPER'S SHOP	CONCRETE	PT/SEALER	VB	CONC./CMU	PT/SEALER	CONCRETE	PT		
		BIKE ROOM	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		SERVICE CORRIDOR	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		M.E.R.s	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		ELEC. TELECOM'S GAS BOILER WATER-FIRE PUMP & A.T.S. R'GS.
TYPICAL RESIDENTIAL FLOORS 2 TO 13	FIRST FLOOR	STAIRS A & B	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		LOBBY	CONCRETE		-	CONC./CMU/GWB		CONC./SUSP. GWB	PT.		
		PUBLIC CORRIDOR	CONCRETE			CONC./CMU/GWB		GWB			
		BATHROOM	CONCRETE			CONC./CMU/GWB		CONC./SUSP. GWB			
		HALL ROOM	CONCRETE			CONC./CMU/GWB		CONC./SUSP. GWB			
		AMENITY SPACE	CONCRETE			CONC./CMU/GWB		CONC./SUSP. GWB			
		GARAGE	CONCRETE	PT/SEALER	-	CONC./CMU/GWB	PT.	CONC./SUSP. GWB			
		STORAGE	CONCRETE			CONC./CMU/GWB		CONC./SUSP. GWB			
		SERVICE ENTRY	CONCRETE			CONC./CMU/GWB		CONC./SUSP. GWB			
		SERVICE VESTIBULE	CONCRETE			CONC./CMU/GWB		CONC./SUSP. GWB			
		PACKAGE ROOM	CONCRETE			CONC./CMU/GWB		CONC./SUSP. GWB			
		JANITOR'S CLOSET	CONCRETE		-	CONC./CMU/GWB		CONC./SUSP. GWB			
14TH FLOOR	RESIDENTIAL UNITS	LIVING ROOM	CONCRETE	UF	UD	GWB	PT	CONC./SUSP. GWB	PT		
		KITCHEN	CONCRETE	CT	UD	UR. GWB	CT/PT	CONC./SUSP. GWB	PT		
		BEDROOM	CONCRETE	UF	UD	GWB	PT	CONC./SUSP. GWB	PT		
		BATHROOM	CONCRETE	CT	CT	UR. GWB/TBS	CT/PT	CONC./SUSP. GWB	PT		
		CLOSET	CONCRETE	UF	UD	GWB	PT	CONC./SUSP. GWB	PT		
		WASHER/DRYER CLOSET	CONCRETE	CT	CT	GWB	PT	CONC.	PT		
	COMMON										
		STAIRS A & B	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		RUBBISH ROOM	CONCRETE	CT	CT	GWB	CT	CONCRETE	PT		
	AMENITY	PUBLIC CORRIDOR	CONCRETE			CONC./CMU/GWB		GWB			
		STAIRS A & B	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		RUBBISH ROOM	CONCRETE	CT	CT	GWB	CT	CONCRETE	PT		
BULKHEAD	14TH FLOOR	PUBLIC CORRIDOR	CONCRETE			CONC./CMU/GWB		GWB			
		AMENITY SPACE	CONCRETE			CONC./CMU/GWB		GWB			
BULKHEAD	14TH FLOOR	STAIRS A	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		CORRIDOR	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		ELEV. CONTROL CLOSET	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		
		GENERATOR ROOM	CONCRETE	PT/SEALER	-	CONC./CMU	PT/SEALER	CONCRETE	PT		

ARCH. FINISHES ABBREVIATIONS:

ACT	ACOUSTICAL CEILING TILE	PT	PAINT
BA	BATHROOM ACCESSORIES	SGT	STRUCTURALLY GLAZED FACING TILE
BR	BRICK	ST	STONE
CA	CABINET	SUSP	SUSPENDED
CBB	CEMENT BACKER BOARD	TBS	TILE BACKER BOARD
CF	CONCRETE FLOOR	WC	WALL COVERING
CMU	CONCRETE MASONRY UNIT	WD	WOOD
CNC	CONCRETE	WF	WOOD FLOORING
CPT	CARPET	WR	WATER RESISTANT
CT	TILE (CERAMIC U.O.N.)	VCT	VINYL COMPOSITION TILE
GL	GLASS		
GWB	GYPSUM WALL BOARD		

NOTES:

- 1.) EXPOSED CIRCULAR CONCRETE COLUMNS WILL BE FINISHED WITH COVER COAT AND PAINT
- 2.) PROVIDE FLEXIBLE MOLDINGS POLY RESIN BASE AT CIRCULAR COLUMNS BY DYKES OR APPROVED EQUAL TO MATCH APARTMENT BASE
- 3.) EXPOSED SPRINKLER LINES SHALL BE PAINTED EQUAL
- 4.) PROVIDE SUPPLEMENTAL MOUNTING PLATES, BLOCKING, FRAMING, ETC. REQUIRED FOR RECESSED MOUNTED OR WALL MOUNTED EQUIPMENT AND FIXTURES
- 6.) APPLY PENETRATING SEALANT AT ALL SUBGRADE AND/OR EXPOSED CONC. FLOOR & FOUNDATION WALLS PRIOR TO FINISH INSTALLATION.
- 7.) PROV. BID ALTERNATE FOR CERAMIC TILE I.L.O. WOOD FLOORING @ ALL RESIDENTIAL CORRIDORS

FINISH SCHEDULE NOTES :

1. **BC 803.1 FLAME SPREAD & SMOKE DEVELOPMENT OF INTERIOR FINISHES** - ALL STAIRS, CORRIDORS & EGRESS PASSAGEWAYS TO BE FINISHED IN MATERIALS OF CLASS B OR BETTER AS PER BC 803.5.
2. **BC 803.1 FLAME SPREAD & SMOKE DEVELOPMENT OF INTERIOR FINISHES** -ALL ROOMS & ENCLOSED SPACES TO BE FINISHED IN MATERIALS OF CLASS B OR BETTER AS PER TABLE 803.5.

TYPICAL APPLIANCES							
TAG	ITEM	MANUFACTURER	MODEL	FINISH	DIMENSIONS	LOCATION	REMARKS
AP-10	18" DISHWASHER	GE	PDW1860N55	STAINLESS STEEL	32"H X 24"D X 18"W		
AP-11	24" DISHWASHER	GE	GLDT690SS	STAINLESS STEEL	31-11/32"H X 24"D X 24"W		
AP-20	24" FRIDGE	LG	LRN10551PS	STAINLESS STEEL	68 1/2"H X 25-3/8"D X 23-3/8"W		
AP-21	30" FRIDGE	SUMMIT	FFB285SSX	STAINLESS STEEL	72 1/4"H X 24 3/7"D X 23 3/4"W		
AP-22	36" FRIDGE	GE	P2S22MSKSS	STAINLESS STEEL	69 1/4"H X 30 3/4"D X 35 3/4"W		
AP-30	21" COOKTOP	GE	JP256MBB	STAINLESS STEEL	3-3/4"H X 17 1/8"D X 21-1/2"W	ADA COMPLIANT	
AP-31	30" COOKTOP	GE	JP5030DJB8	STAINLESS STEEL	5-9/16"H X 20 7/8"D X 29-5/4"W		
AP-40	27" BUILT IN OVEN	GE	JK1000SF55	STAINLESS STEEL	28 3/4"H X 26-5/8"D X 26-3/4"W		
AP-41	30" BUILT IN OVEN	GE	JT000SF55	STAINLESS STEEL	28 5/8"H X 26-3/4"D X 29-3/4"W		
AP-50	30" OTR MICROWAVE	GE	PVM91795F55	STAINLESS STEEL	16-1/4"H X 15-1/2"D X 29-7/8"W		
AP-60	DRYER	GE	DCVH480EKWW	WHITE	33-3/8"H X 25-11/16"D X 23-1/2"W	INCLUDE STACKING KIT	
AP-61	WASHER	GE	GFW1200HWW	WHITE	39-7/8"H X 32"D X 27"W	INCLUDE STACKING KIT	

UFAS APPLIANCES							
TAG	ITEM	MANUFACTURER	MODEL	FINISH	DIMENSIONS	LOCATION	REMARKS
AP-20A	24" FRIDGE	FRIGIDAIRE	FFTR122Q	WHITE	59-7/8"H X 28-7/8"D X 24"W	UFAS APARTMENTS	3" AIR CLEARANCE REQ'D ON ALL SIDES. ALLOW 50-1/2"D FOR DOOR TO OPEN
AP-21A	30" FRIDGE	FRIGIDAIRE	FFH1831Q	STAINLESS STEEL	60-1/8"H X 29-7/8"D X 30"W	UFAS APARTMENTS	ALLOW FOR SPACE FOR HANDLE WHEN INSTALLED NEXT TO WALL. ALLOW 58-1/2"D FOR DOOR TO OPEN
AP-30A	24" COOKTOP					UFAS APARTMENTS	
AP-50A	24" RANGE HOOD	GE	JV24RP	STAINLESS STEEL	5-1/2"H X 17-1/2"D X 23-7/8"W	UFAS APARTMENTS	RECIRCULATING
AP-51A	30" RANGE HOOD	GE	JV34BL	STAINLESS STEEL	5-1/2"H X 17-1/2"D X 29-7/8"W	UFAS APARTMENTS	RECIRCULATING
AP-52A	24" COUNTERTOP MICROWAVE	GE	PEM31S1F55	STAINLESS STEEL	12-1/8"H X 12-7/8"D X 24"W	UFAS APARTMENTS	
AP-60A	WASHER/DRYER	LG	WMS997HWA	WHITE	38-11/16"H X 29-3/4"D X 27"W	UFAS APARTMENTS	INCLUDE LAUNDRY PEDESTAL WDP4W

PLUMBING FIXTURES							
TAG	ITEM	MANUFACTURER	MODEL	FINISH	DIMENSIONS	LOCATION	REMARKS
PF-01	KITCHEN FAUCET	MOEN	PDW1860N55 / 90 DEGREE	CHROME	12-3/8"H X 9-13/16"D X 2-1/2"W	KITCHEN	ADA WITH LEVER HANDLE
PF-02	KITCHEN SINK	KOHLER	K-3894-4 /VAULT	STAINLESS STEEL	11-5/8"H X 22"D X 25"W	KITCHEN	ADA COMPLIANT
PF-03	KITCHEN SINK	MOEN	G18190	STAINLESS STEEL	10"H X 18"D X 23"W	KITCHEN	
PF-04	BATHROOM FAUCET	MOEN	TS6720 / 90 DEGREE	CHROME	4"H X 4-5/8"D X 14"W	BATHROOM	ADA WITH LEVER HANDLE
PF-05	BATHROOM SINK	TOTO	LT156 / VERNICA	WHITE	6-5/8"H X 14-1/8"D X 2 1/2"W	BATHROOM	ADA COMPLIANT
PF-06	WALL MOUNT BATHROOM SINK	KOHLER	K-2053 / SOHO	WHITE	7"H X 18"D X 16 1/4"W	BATHROOM	ADA COMPLIANT
PF-07	SINK TRAP	KOHLER	K-8998		4-3/8"H X 11-3/4"D X 1-1/4"W	BATHROOM	ADA COMPLIANT
PF-08	DIVERTER	MOEN		CHROME			
PF-09	TUB/SHOWER TRIM	MOEN	TS2713 / 90 DEGREE	CHROME	8-3/8" EXT. x 6-3/16W	BATHROOM	ADA WITH LEVER HANDLE
PF-10	SHOWER PAN	TILE-REDI	PAN: 3248CBF-PVC DRAIN: 1P5Q-PC	PAN: WHITE DRAIN: POLISHED CHROME	48" X 32"	BATHROOM	INCLUDE DRAIN AND COVER
PF-11	HANDSHOWER	MOEN	S3879P / 90 DEGREE	CHROME	30-5/8"H X 2-1/8"W	BATHROOM	INCLUDE HOSE ATTACHMENT
PF-12	TOILET	TOTO	CS7416M / ACQUA II	WHITE	30-1/4"H X 27-1/2"D X 14-1/4"W	BATHROOM	INCLUDE SOFT CLOSE SEAT 55144. CONTRACTOR TO SPECIFY FLUSH HANDLE LOCATION TO BE LOCATED AS PER ADA REQUIREMENTS
PF-13	TOILET BOWL	KOHLER	K-4302 / HIGHCREST	WHITE	16-1/2"H X 26"D X 14 1/2"W	BATHROOM	TOILET BOWL ONLY
PF-14	5" TUB	KOHLER	K-875 / BELLWETHER	WHITE	15-1/2"H X 32"D X 60"W	BATHROOM	CONTRACTOR TO SPECIFY DRAIN LOCATION. REQUIRES DRAIN
PF-15	BATHROOM FAUCET	AMERICAN STANDARD	2590.801 STUDIO	CHROME	7"EXT X 7"H	BATHROOM	ADA COMPLIANT
PF-16	FLUSHOMETER	KOHLER	K-13516-RF	CHROME		BATHROOM	ADA COMPLIANT

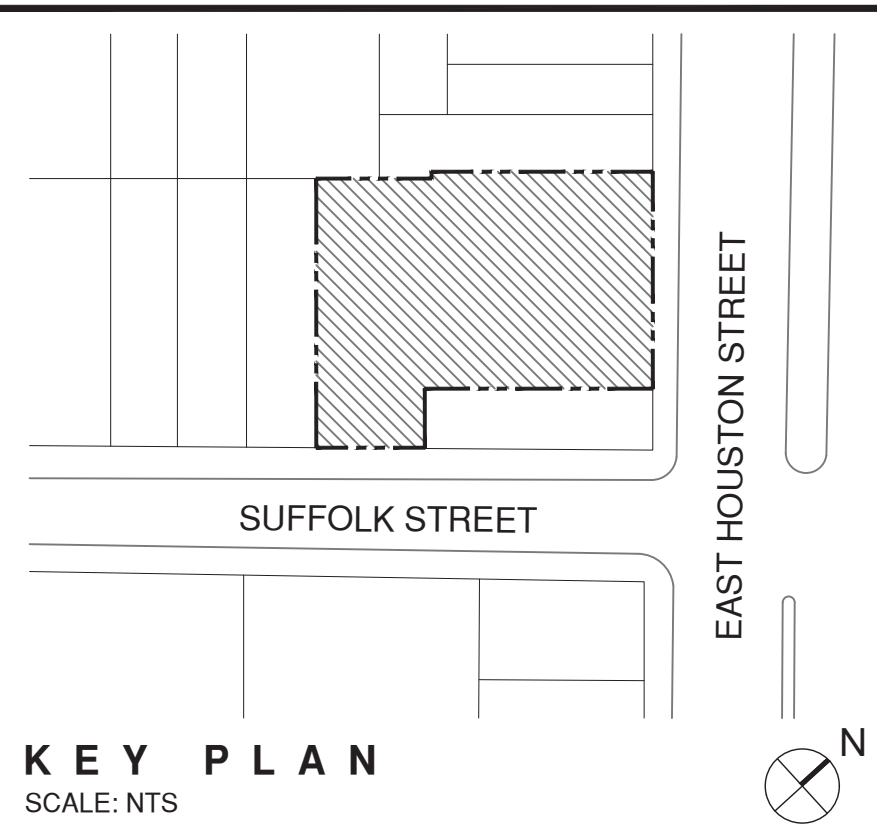
PLUMBING FIXTURES - UFAS							
TAG	ITEM	MANUFACTURER	MODEL	FINISH	DIMENSIONS	LOCATION	REMARKS
PF-09A	SHOWER TRIM	MOEN	TS2711	CHROME	6-7/16" SQ	BATHROOM	PROVIDE ROUGH-IN
PF-09B	SHOWER DIVERTER	MOEN	TS4172-3372	CHROME	4" SQ	BATHROOM	PROVIDE ROUGH-IN, 3 WAY TRANSFER VALVE
PF-09C	SHOWER HEAD AND ARM	MOEN	HEAD: S6340 ARM: S133	CHROME	6-3/16" HEAD 8-3/8" EXT.	BATHROOM	INCLUDE SHOWER HEAD AND ARM
PF-10A	SHOWER PAN	TILE-REDI	RT-3060CBFC-PVC-SQPC	WHITE	30" X 6" X 5-3/4"H	BATHROOM	INCLUDE POLISHED CHROME DESIGNER GRATE DRAIN
PF-11A	HANDSHOWER	MOEN	HEAD: 9349EP15 DROP-ELL: A721 CRADLE: A755 HOSE: C155748 VACUUM BREAKER: A714	CHROME	HANDSHOWER HEAD: 3-5/16" x 8-1/8" HOSE LENGTH: 59"	BATHROOM	INCLUDE HEAD, HOSE, HOSE DROP-ELL, HANDSHOWER CRADLE. INCLUDE ADA COMPLIANT PAUSE BUTTON.

ACCESSORIES							
TAG	ITEM	MANUFACTURER	MODEL	FINISH	DIMENSIONS	LOCATION	REMARKS
BA-01	SHOWER ROD	MOEN	CSR21644CH	CHROME	3 1/4"H X 7 1/2"D X 72"W	BATHROOM	ADJUSTABLE TO 5' TUBS
BA-02	TOWEL BAR	MOEN	YB8818/YB8824 / 90 DEGREE	CHROME	18" OR 24" X 2-1/2"EXT	BATHROOM	TBD 18" OR 24"
BA-03	TOILET TISSUE HOLDER	MOEN	YB8808 / 90 DEGREE	CHROME	8-1/2"W X 1-1/2"H X 3"EXT	BATHROOM	
BA-04	ROBE HOOK	MOEN	YB8803	CHROME	1-1/2"H X 2-1/8"D X 1-3/8"W	BATHROOM	
BA-05	MEDICINE CABINET	RED STAR DESIGN	CUSTOM		SEE DRAWINGS	BATHROOM	INTEGRATED LIGHT STRIPS
BA-06	ROBE HOOK	BOBRICK	B-212	ALUMINIUM	3-3/4"EXT X 2"H X 1-3/2"W	BATHROOM	
BA-07	TOILET TISSUE HOLDER	BOBRICK	B-685	STAINLESS STEEL	2"H X 4"D X 7-3/4"W	BATHROOM	
BA-08	PAPER TOWEL DISPENSER/ DISPOSAL	BOBRICK	B-369	STAINLESS STEEL	28"H X 4"D X 14"W	BATHROOM	
BA-09	ADA MIRROR	BOBRICK	B-293 2436	STAINLESS STEEL	4-3/8" EXT, 36"H X 24"W	BATHROOM	
BA-10	SOAP DISPENSER	BOBRICK	B-4112	STAINLESS STEEL	8-1/8"H X 3-5/16"D X 7"W	BATHROOM	

HARDWARE							
HW-01	DOOR HANDLE	MARKS USA	SF150	CHROME	5"L X 3"D	APARTMENTS	
HW-02	VANITY LEG	HAFELE	634-47.203	POLISHED CHROME	9-1/2"H x 6" x 1"	BATHROOM VANITY	
HW-03	RECESSED DOOR PULL	RICHELIEU	616748160174	CHROME	1-9/16"W X 9/16"D X 6-17/32"L	BATHROOM VANITY	
HW-03A	TOUCH-TO-OPEN DOOR HARDWARE	BLUM	TIP-ON SYSTEM			ADA BATHROOM VANITY, ADA KITCHEN CABINETS	
HW-04	CABINET DOOR PULL	RICHELIEU	318912140	POLISHED CHROME	3/4" PANEL, 1-11/32"H X 27/32"TH X ADJUSTABLE LENGTH	KITCHEN CABINETS	

KITCHEN APPLIANCE, PLUMBING FIXTURE & ACCESSORIES, AND TYPE B ADAPTABILITY NOTES:

- 1) WHILE ALL MANUFACTURERS & MODEL NUMBERS ARE CORRECT AT DATE OF THIS FILING, PLEASE NOTE THAT THIS IS SUBJECT TO CHANGE AT THE TIME OF BUY-OUT DUE TO MANUFACTURER DISCONTINUING MODELS.
- 2) THE ABOVE NOTWITHSTANDING, OWNERSHIP RETAINS THE RIGHT TO SUBSTITUTE ANY KITCHEN APPLIANCE, PLUMBING FIXTURE OR ACCESSORY WITH AN EQUAL OR BETTER PRODUCT.
- 3) THE PRIMARY ACCESSIBILITY CODES IN EFFECT - 2014 NYC BC CH. 11 / APP. P- ANS1 A117.1-2003 (SAFE HARBOR); SECTION 504 OF THE REHABILITATION ACT OF 1973; FAIR HOUSING ACT 1981; AND UFAS 1994 GUIDELINES - ALL STATE THE NOTION OF ADAPTABILITY, WHEREIN BUILDING OWNERSHIP UNDERTAKES TO MAKE ALL NECESSARY MILLWORK ALTERATIONS & PROVIDE ALL NECESSARY KITCHEN APPLIANCE, PLUMBING FIXTURE & WASHER-DRYER SUBSTITUTIONS AS REQUIRED FOR FULL COMPLIANCY AT THE TIME A TENANT WITH PHYSICAL DISABILITIES TAKES OCCUPANCY OF THE UNIT, OR WITHIN 10 DAYS OF THE DATE THE REQUEST IS MADE BY A PERSON WITH PHYSICAL DISABILITIES, WHICHEVER IS LATER, AT OWNERSHIP'S COST.



	10/14/16	HPD REVISION 1
-	07/12/16	HPD FILING SET
-	08/14/15	DOB FILING SET

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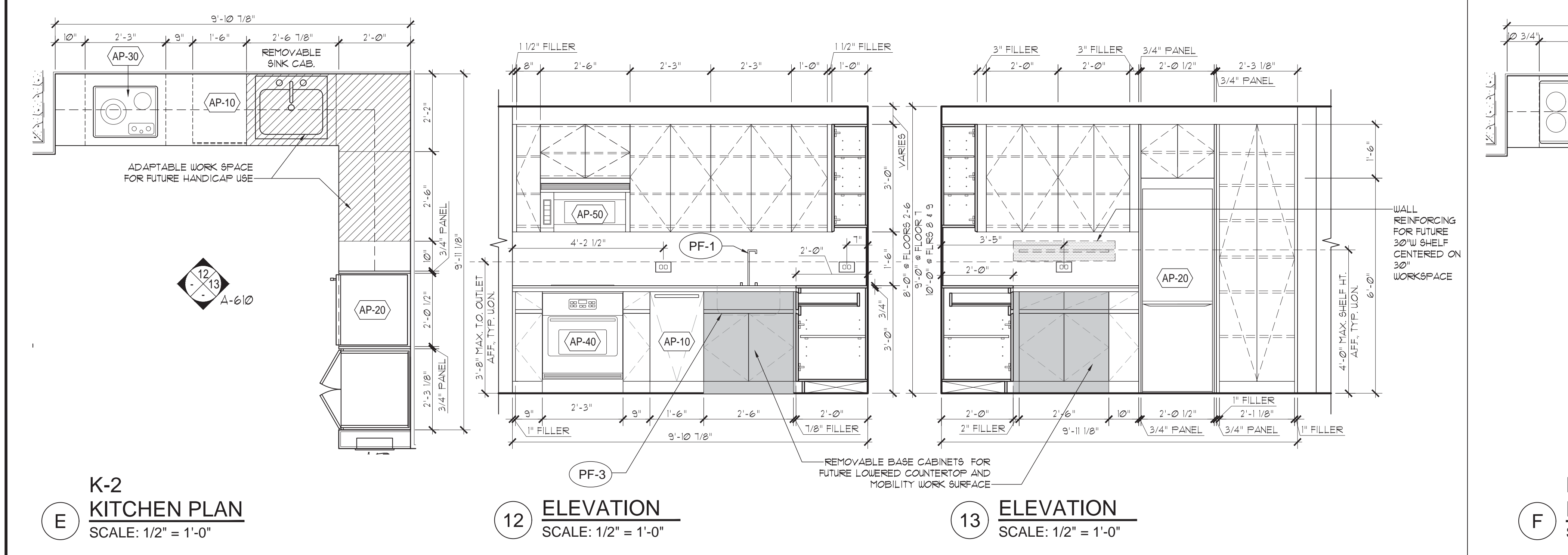
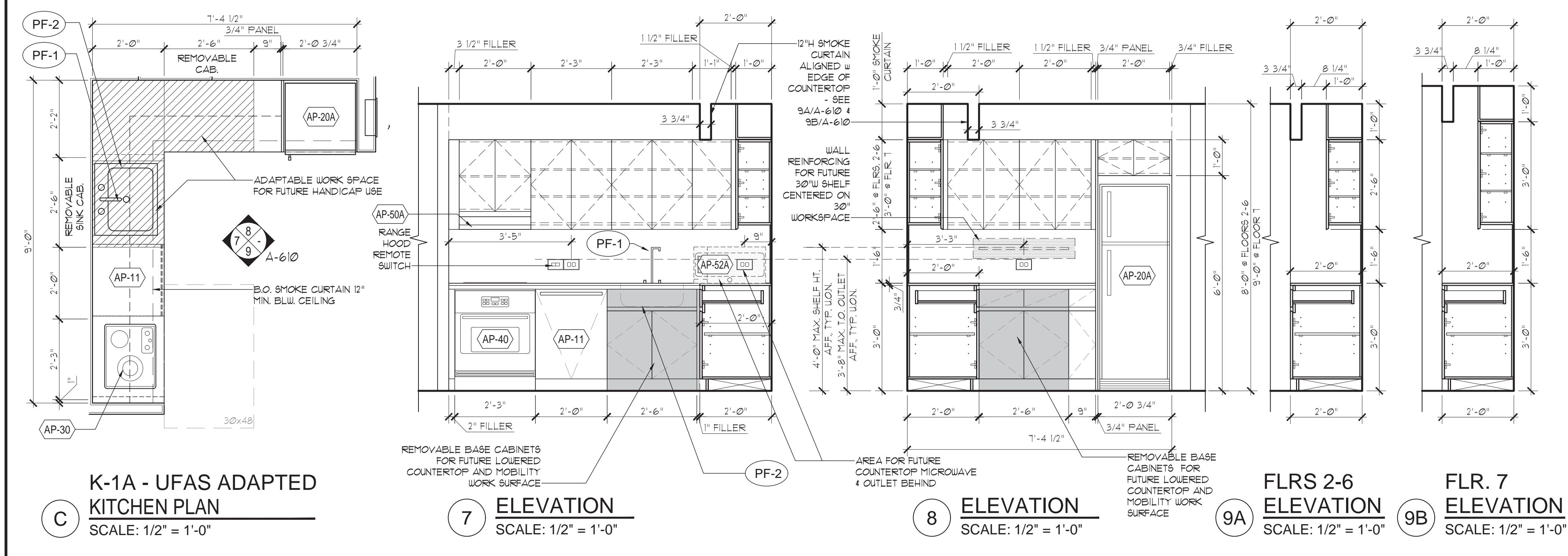
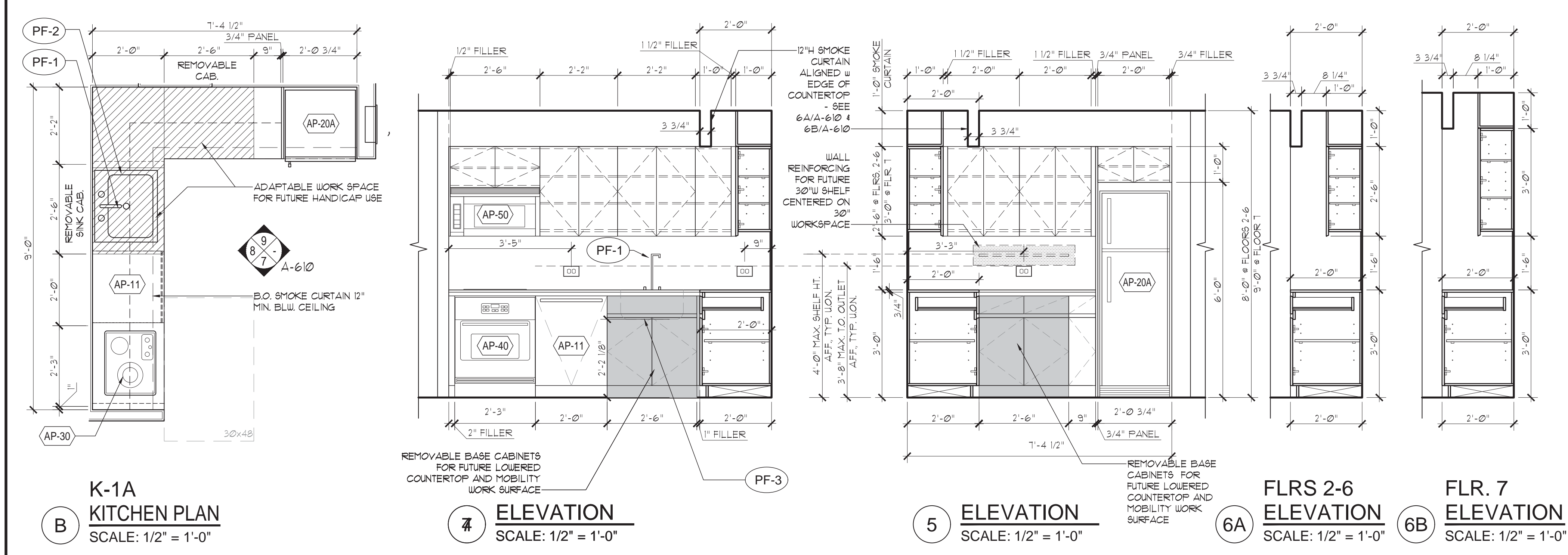
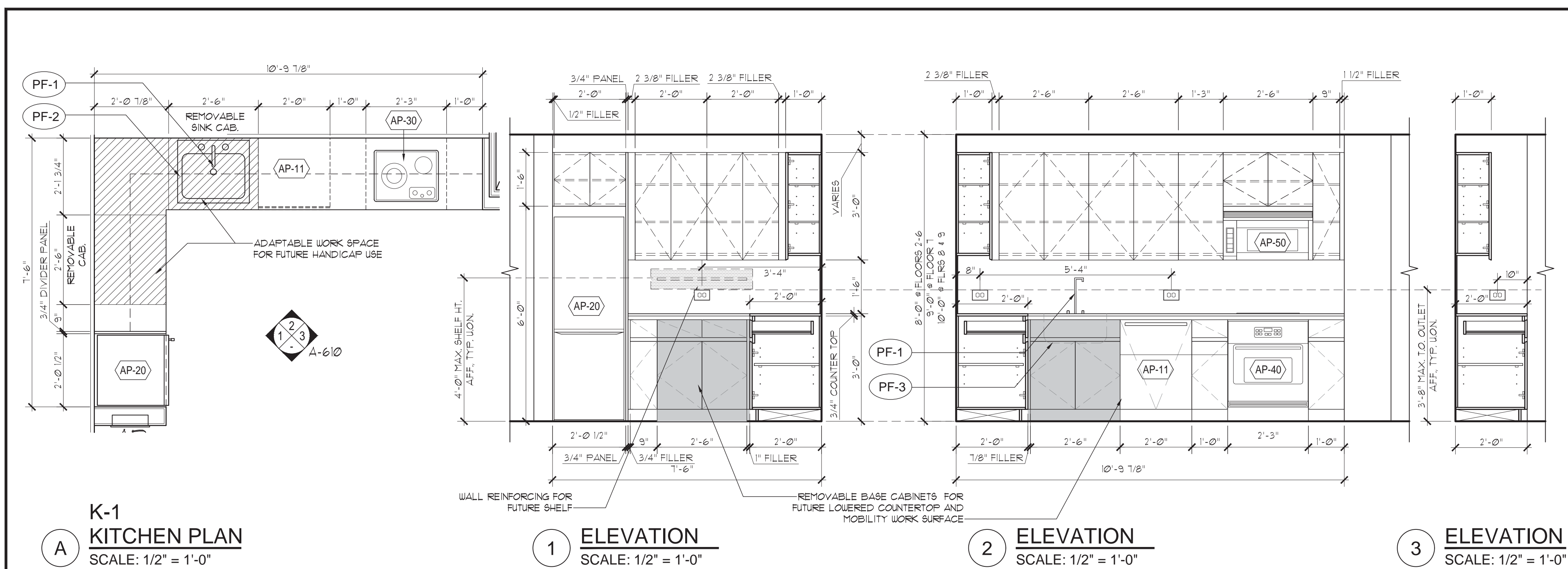
Andi Pepper Interior Design

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McNamara-Salvia

Consulting Engineers (Structural Engineering)
62 West 45

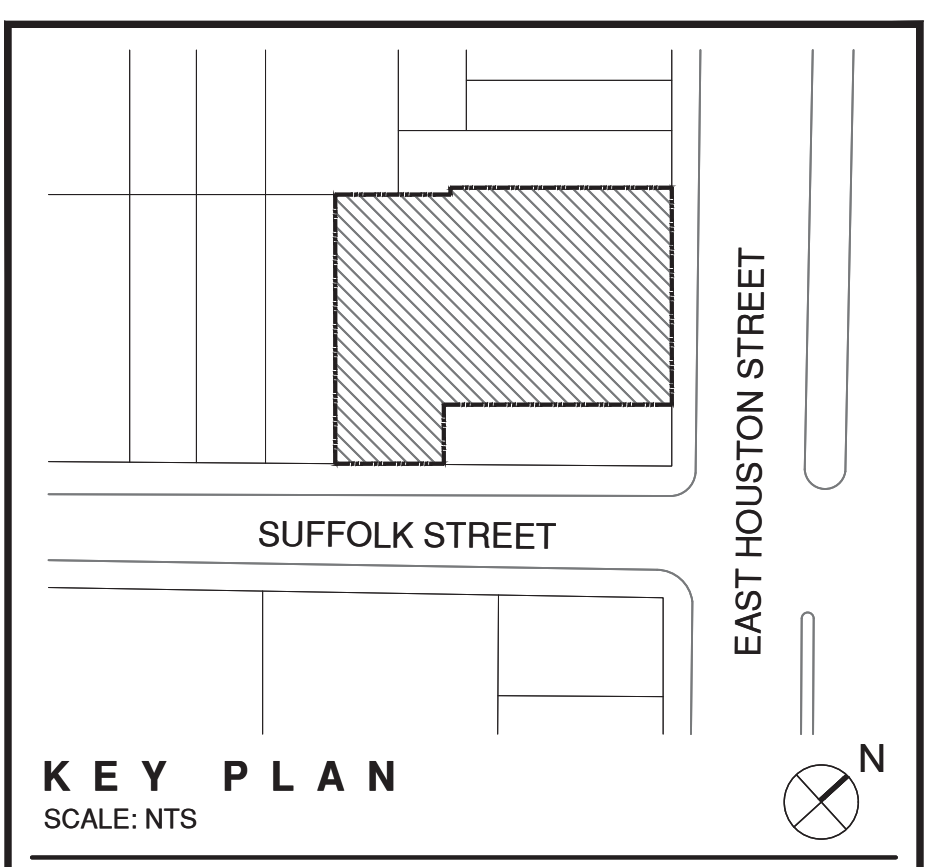
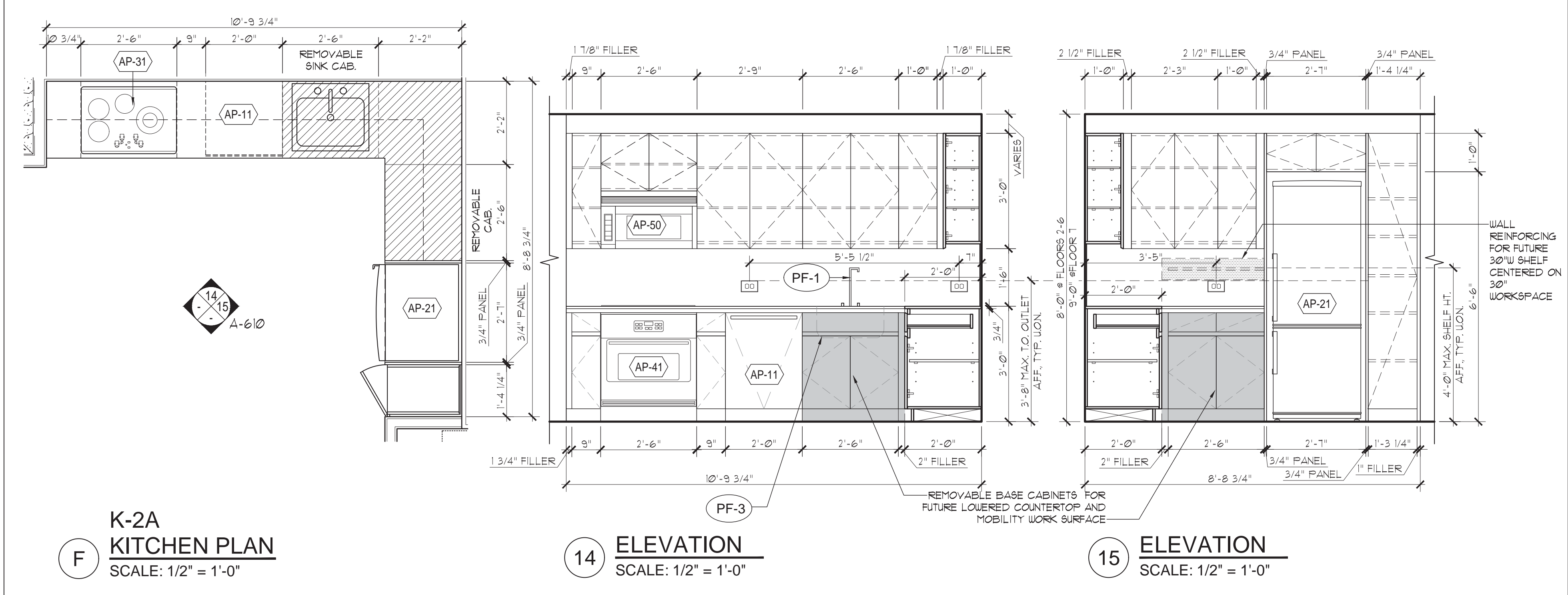
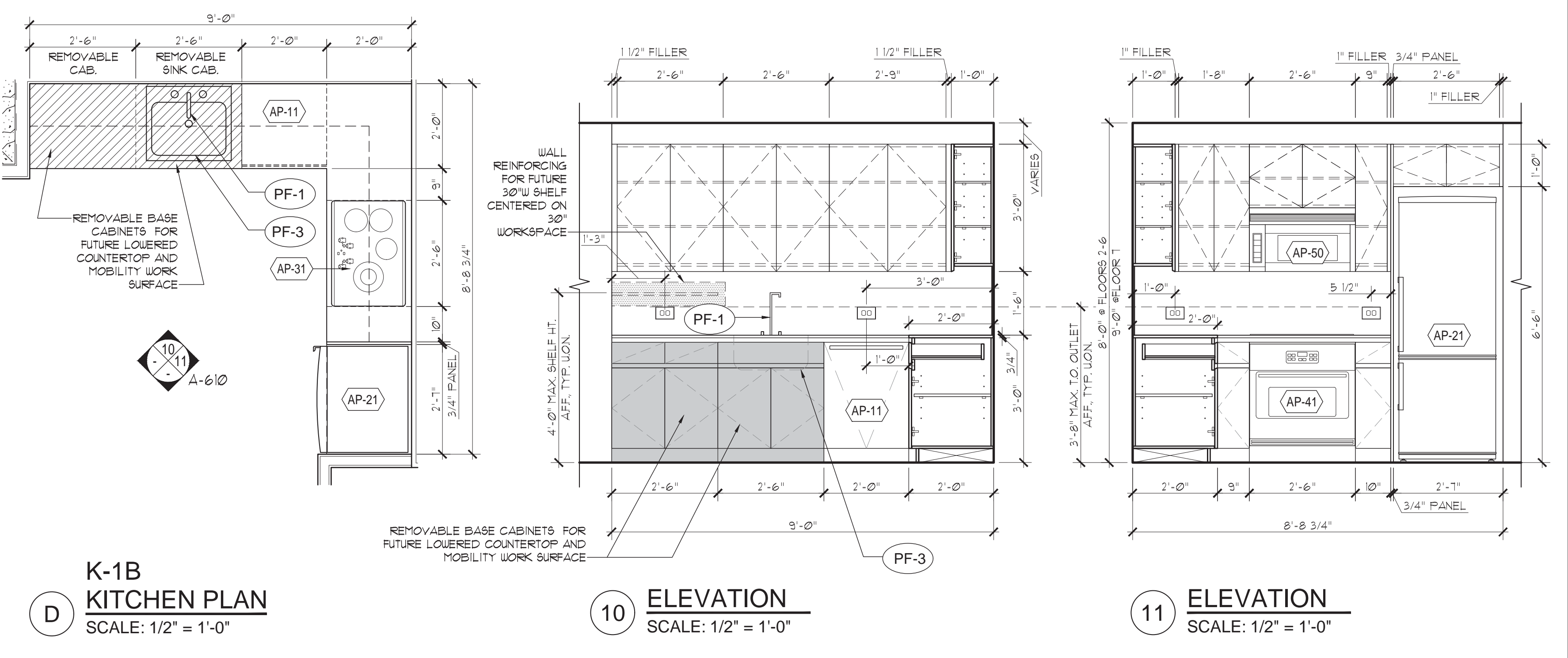


HOUSTON													
FLOOR	UNIT A	UNIT A1	UNIT A2	UNIT B (S)	UNIT C (S)	UNIT D	UNIT D1	UNIT D2	UNIT E	UNIT E1	UNIT E2	UNIT F	UNIT F1 (S)
2	K-1			K-3	K-3	K-1			K-2			K-5	
3	K-1			K-3	K-3	K-1			K-2			K-5	
4	K-1			K-3	K-3	K-1			K-2			K-5	
5	K-1			K-3	K-3	K-1			K-2			K-5	
6	K-1			K-3	K-3	K-1			K-2			K-5	
7	K-1			K-3	K-3	K-1			K-2			K-5	
8	K-1			K-3	K-3	K-1			K-2			K-5	
9	K-1			K-3	K-3	K-1			K-2			K-5	
10		K-4A					K-7A		K-2A				K-3
11			K-3B					K-3C			K-1B		K-3
12			K-3B					K-3C			K-1B		K-3
13			K-3B					K-3C			K-1B		K-3

SUFFOLK					
FLOOR	UNIT G (S)	UNIT H (S)	UNIT I (S)	UNIT J (S)	UNIT K
2		K-3A	K-3A	K-1A	K-7
3	K-4	K-3A		K-1A	K-7
4	K-4	K-3A		K-1A	K-7
5	K-4	K-3A		K-1A	K-6
6	K-4	K-3A		K-1A	K-6
7	K-4	K-3A		K-1A	K-6
8					K-8

- KITCHEN NOTES:**
- ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. REFER TO FLOOR PLANS FOR STUD DIMENSIONS.
 - REFER TO SPECIFICATION SECTION 12.35.30, IN EFFECT FOR WORK SHOWN ON THIS SHEET.
 - ALL BLIND CORNERS TO HAVE FULL BASE & UPPER CABINETS.
 - SEE FINISH CHART ON SHEET A-541 FOR COUNTERTOP & MILLWORK FINISHES.
 - MILLWORK SHOP DRAWING SUBMITTALS TO BE PROVIDED FOR REVIEW & APPROVAL BY ARCHITECT.
 - PHYSICAL SAMPLES OF BOTH INTERIOR & EXTERIOR CABINETRY FINISHES, AND ALL ASSOCIATED HARDWARE AS DEFINED BY SPECIFICATION SECTION 12.35.30 TO BE SUBMITTED FOR REVIEW & APPROVAL BY ARCHITECT.
 - AT ALL STUDIO UNITS, DENOTED BY (S), KITCHENS TO HAVE 12" MIN. FRAMED GWS SMOKE CURTAIN AS SHOWN, WITH GWS SOFFIT BUILT-UP ABOVE UPPER CABINETS FOR SMOKE VENT & SPRINKLER AS REQUIRED BY CODE.
 - ALL ELECTRICAL OUTLETS TO BE GFI OUTLETS, TO BE INSTALLED HORIZONTALLY, SUCH THAT TOP OF OUTLET PLATE IS 3'-8" A.F.F., TYP. U.O.N.
 - PENINSULAR COUNTERTOP ELECTRICAL OUTLETS TO MOUNTED HORIZONTALLY AND CENTERED ON SIDE KNEE WALL AT 2'-6" A.F.F., TYP. U.O.N.
 - CONTRACTOR TO ENSURE ELECTRICAL OUTLET INSTALLATION COMPLIES WITH ALL APPLICABLE CODES. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - ALL APPLICABLE ICC/ANSI A117.1-2003 SAFE HARBOR, FAIR HOUSING ACT & HUD'S REGULATIONS AND GUIDELINES ARE IN EFFECT.

- UFAS MOBILITY IMPAIRED KITCHEN NOTES:**
- PER UFAS SECTIONS 4.34.6.4 & 4.34.6.5, BOTH 30" WORK SURFACE AND KITCHEN SINK & SURROUNDING COUNTER SHALL BE REPLACEABLE AS A UNIT TO PROVIDE COUNTERTOP HEIGHT OF 34" AFF. MAX. BASE CABINETS BELOW SUCH PORTIONS OF COUNTERTOP SHALL BE REMOVABLE UNDER THE FULL 30" MINIMUM FRONTAGE OF BOTH SINK AND WORK SURFACE.
 - OWNERSHIP UNDERTAKES TO PROVIDE, AT OWNERSHIP'S EXPENSE, SUCH MODIFICATIONS AT THE TIME A PERSON WITH PHYSICAL DISABILITIES TAKES OCCUPANCY OF THE UNIT, OR WITHIN 10 DAYS OF THE DATE THE REQUEST IS MADE BY A PERSON WITH PHYSICAL DISABILITIES, WHICHEVER IS LATER.



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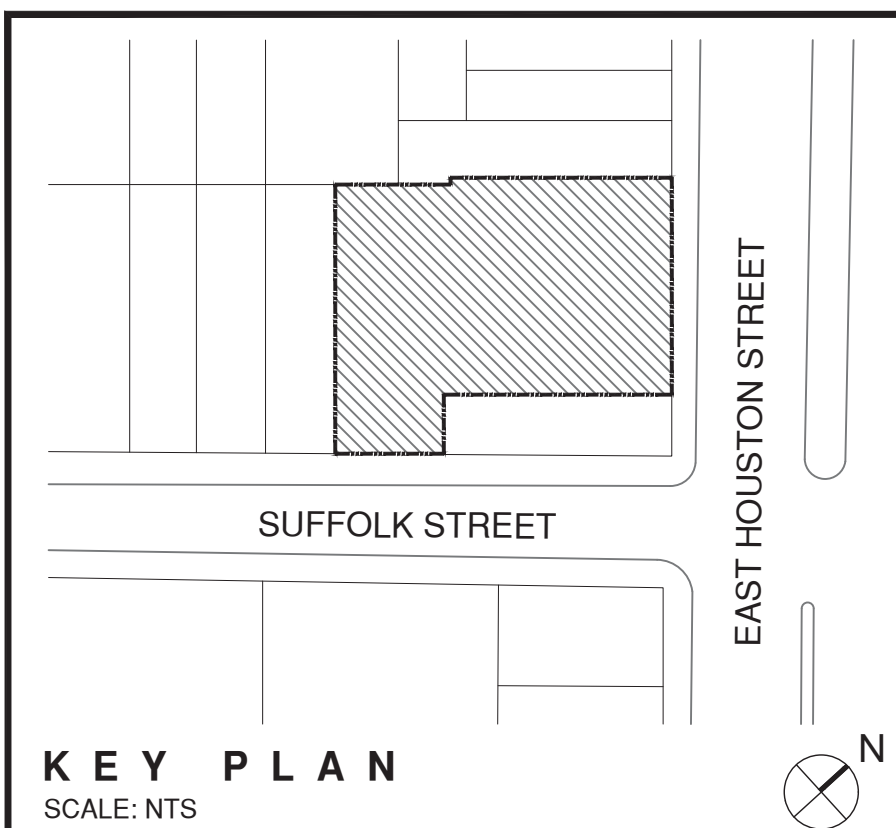
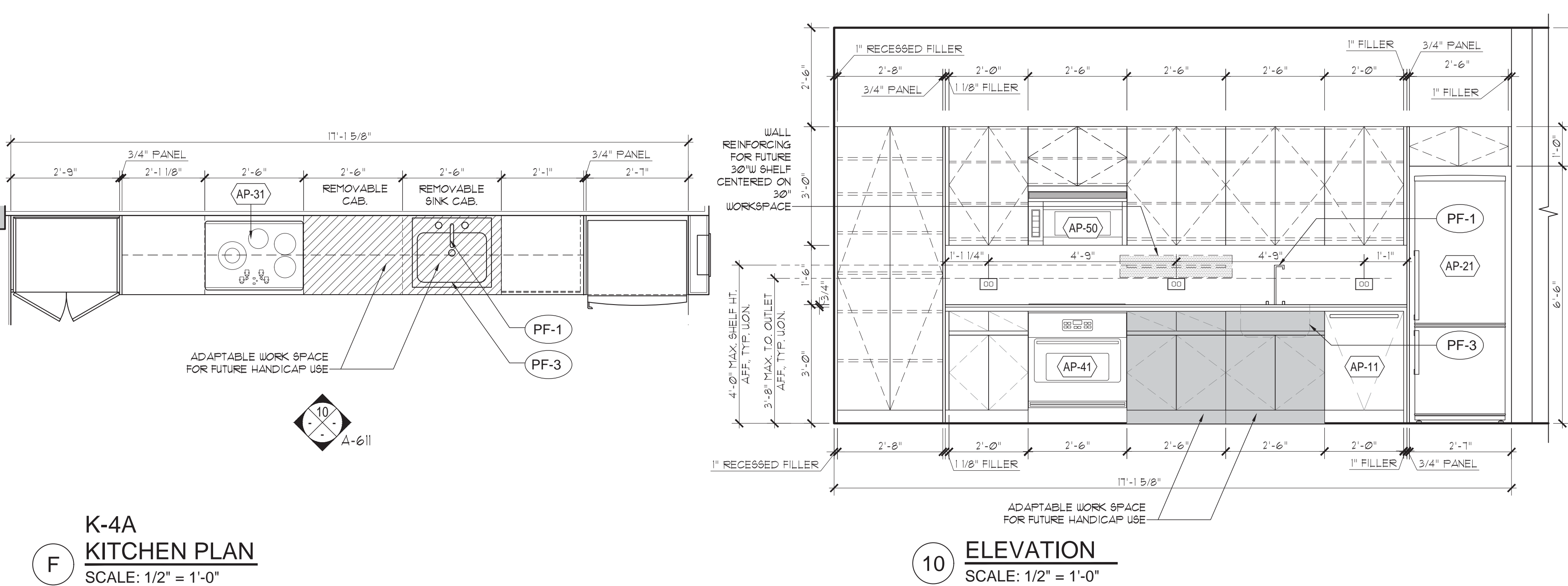
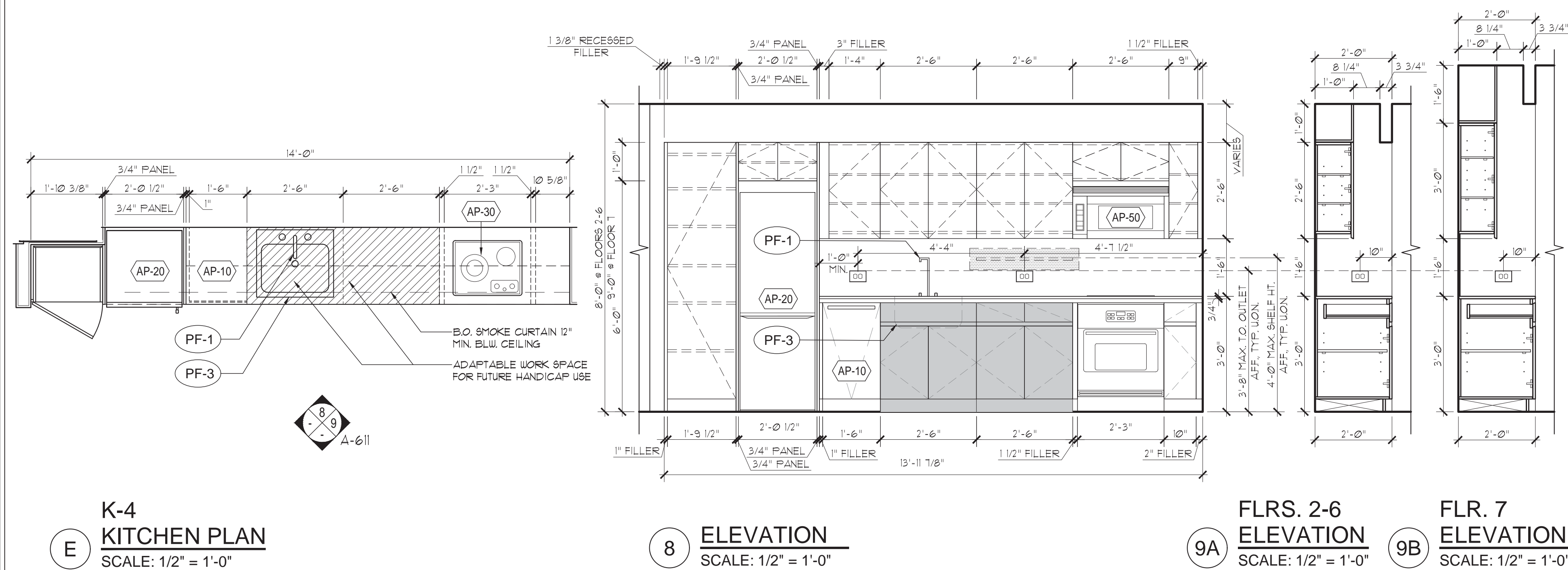
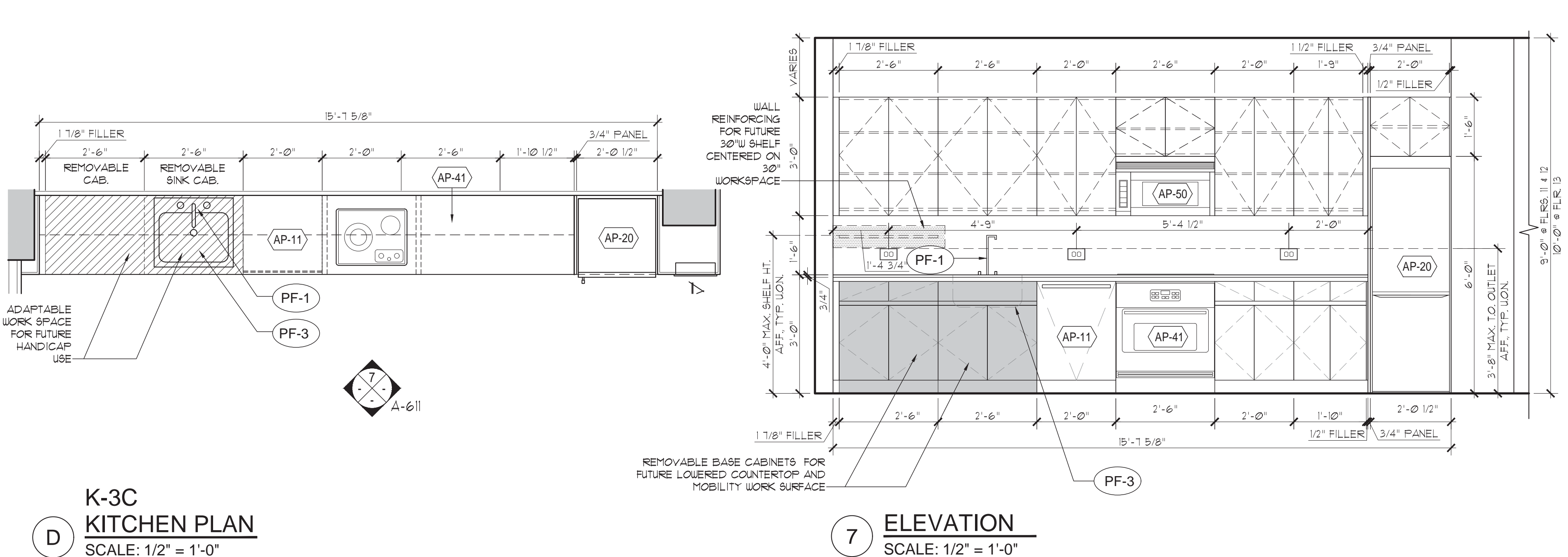
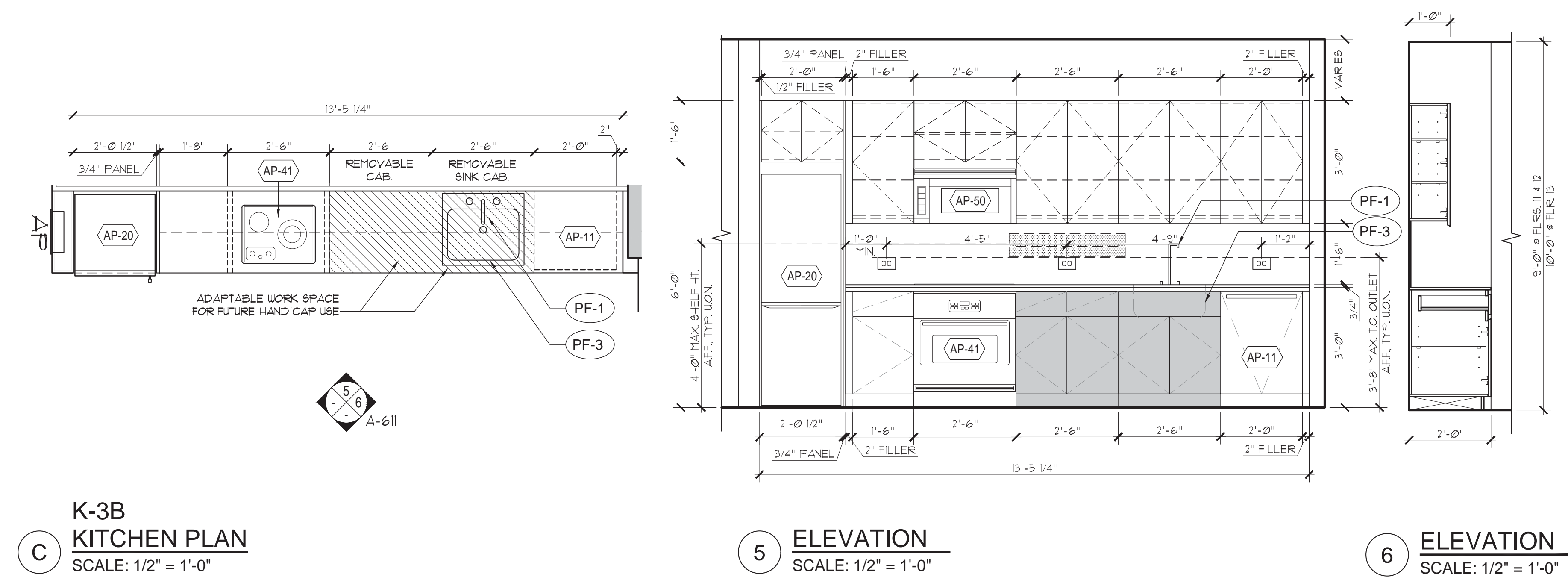
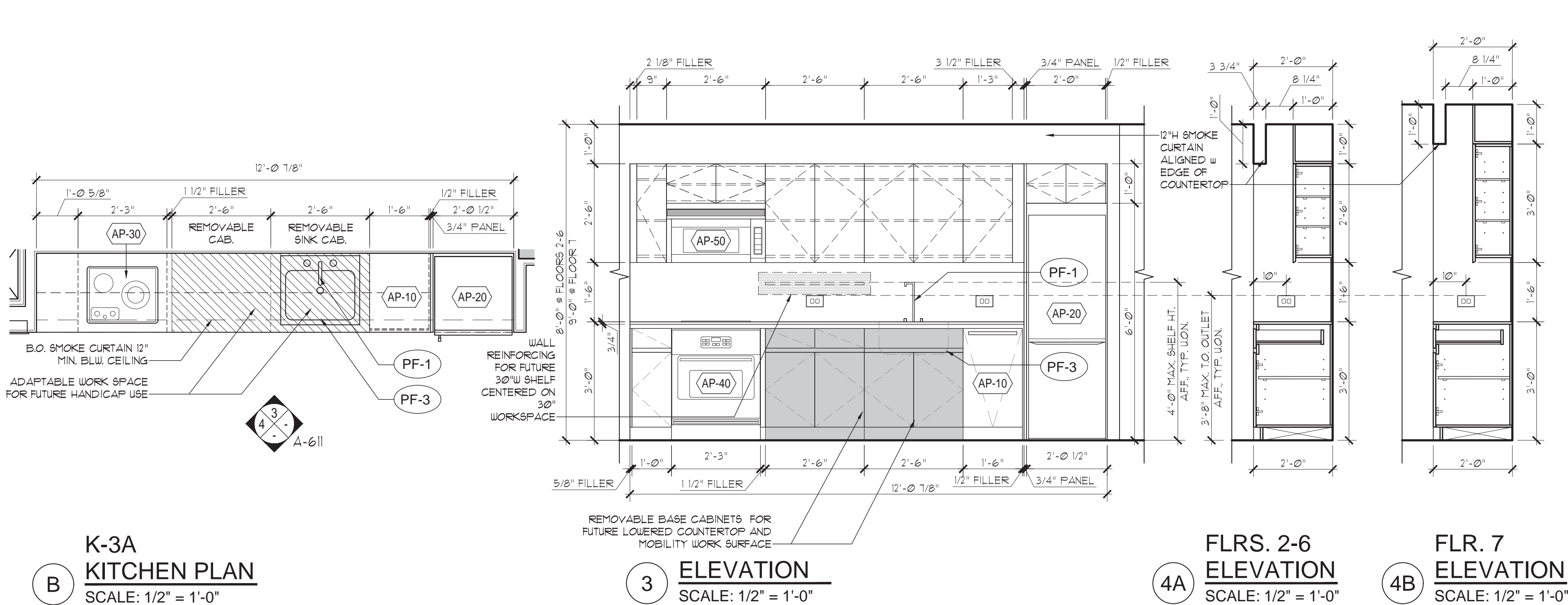
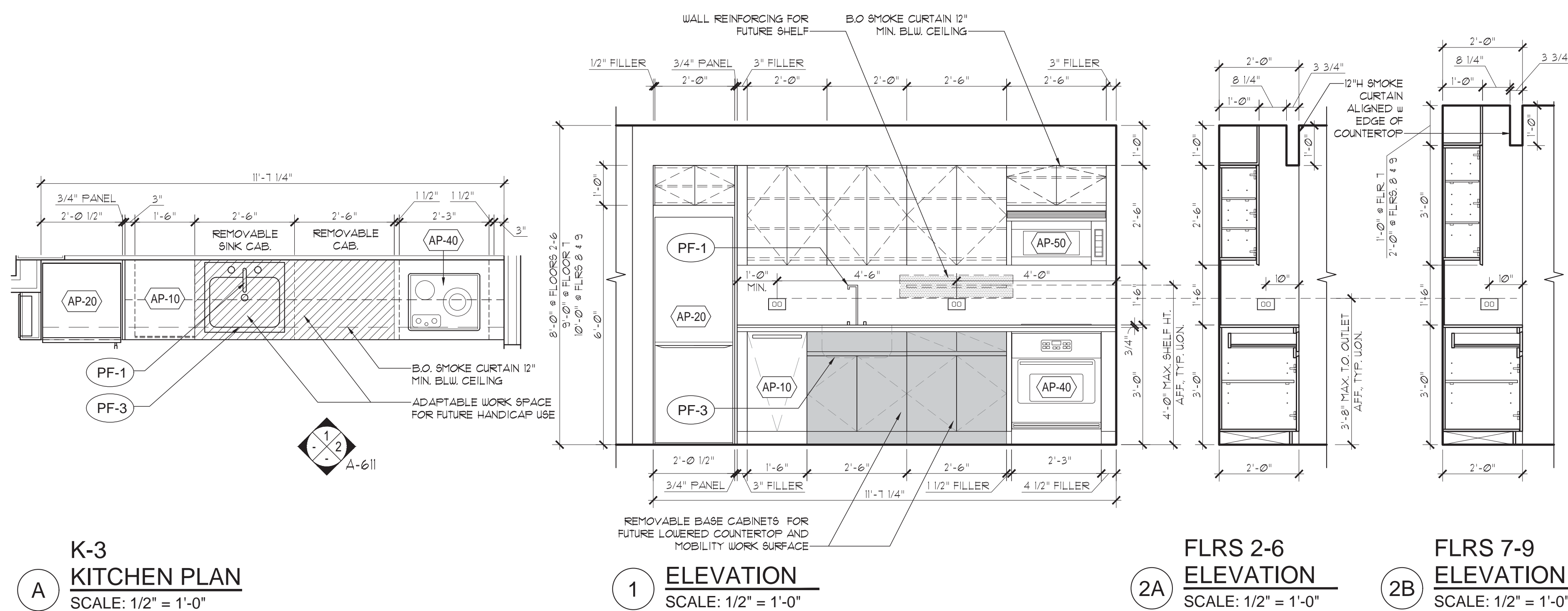
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255 EAST HOUSTON ST.
MANHATTAN, N.Y. 10002

Drawing Title:
KITCHEN TYPES

SEAL & SIGNATURE:

DATE: 07/12/2016
PROJECT: 1446
DRAWING: AS NOTED
DRAWING NO.: **A-610.00**
DWO: RES: 6/24/16 - 4:00:03 - KITCHEN TYPES
41 OF 40



10/14/16	HPD REVISION 1
-	07/12/16 HPD FILING SET

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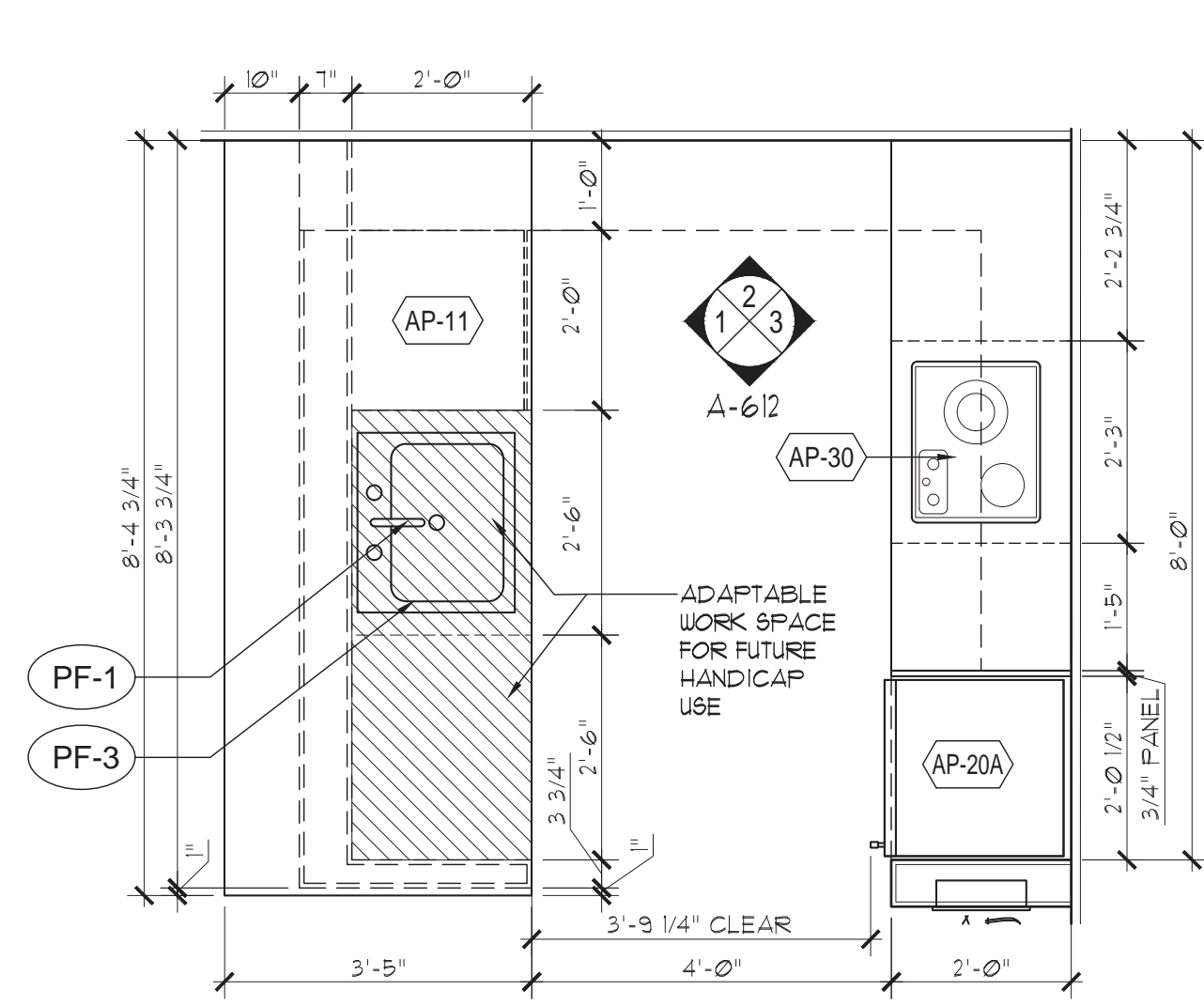
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MANHATTAN, N.Y. 10002

Drawing Title:
KITCHEN TYPES

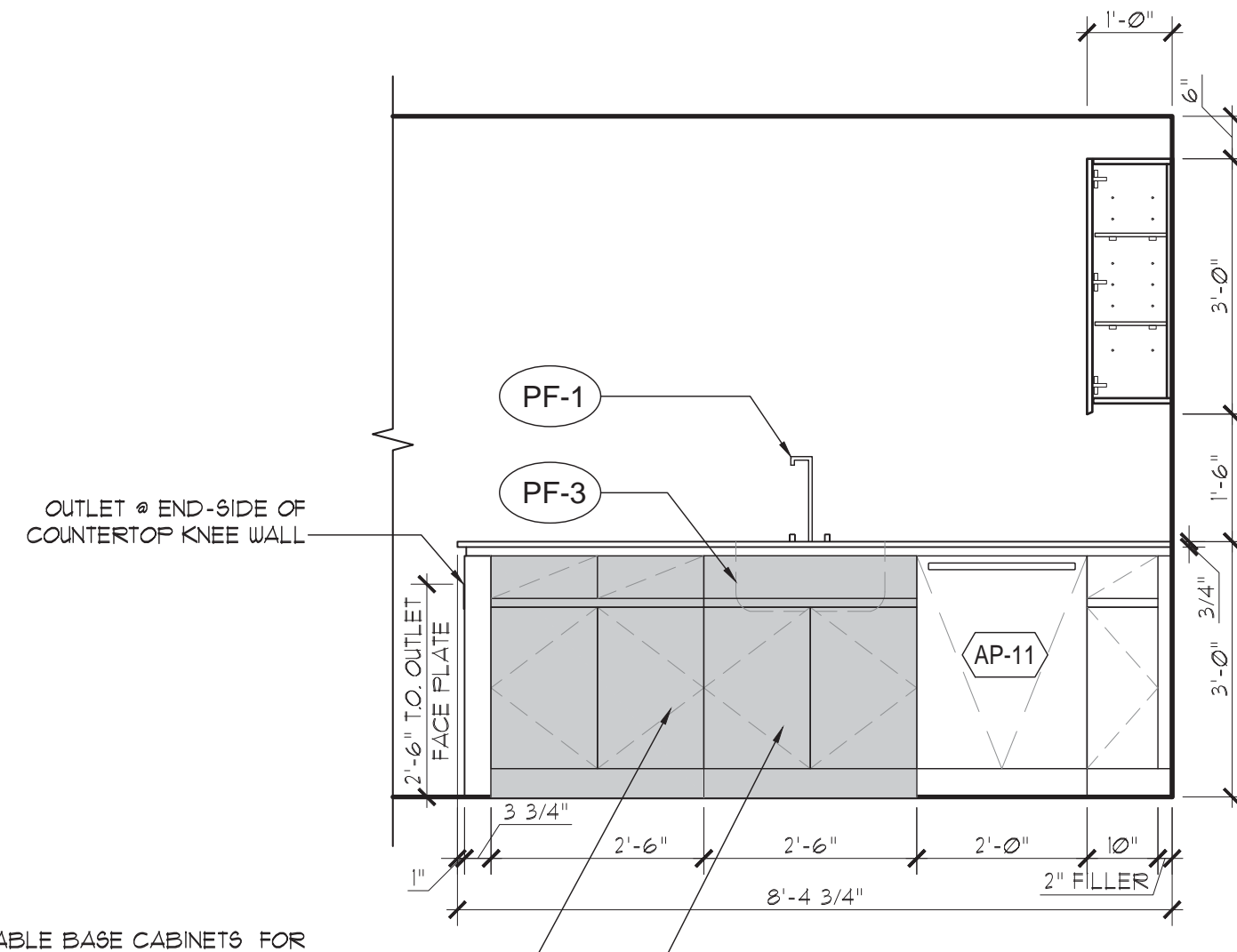
SEAL & SIGNATURE:
REGISTERED ARCHITECT
STEPHEN B. JACOBS
STATE OF NEW YORK
8723

DATE: 07/12/2016
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-611.00

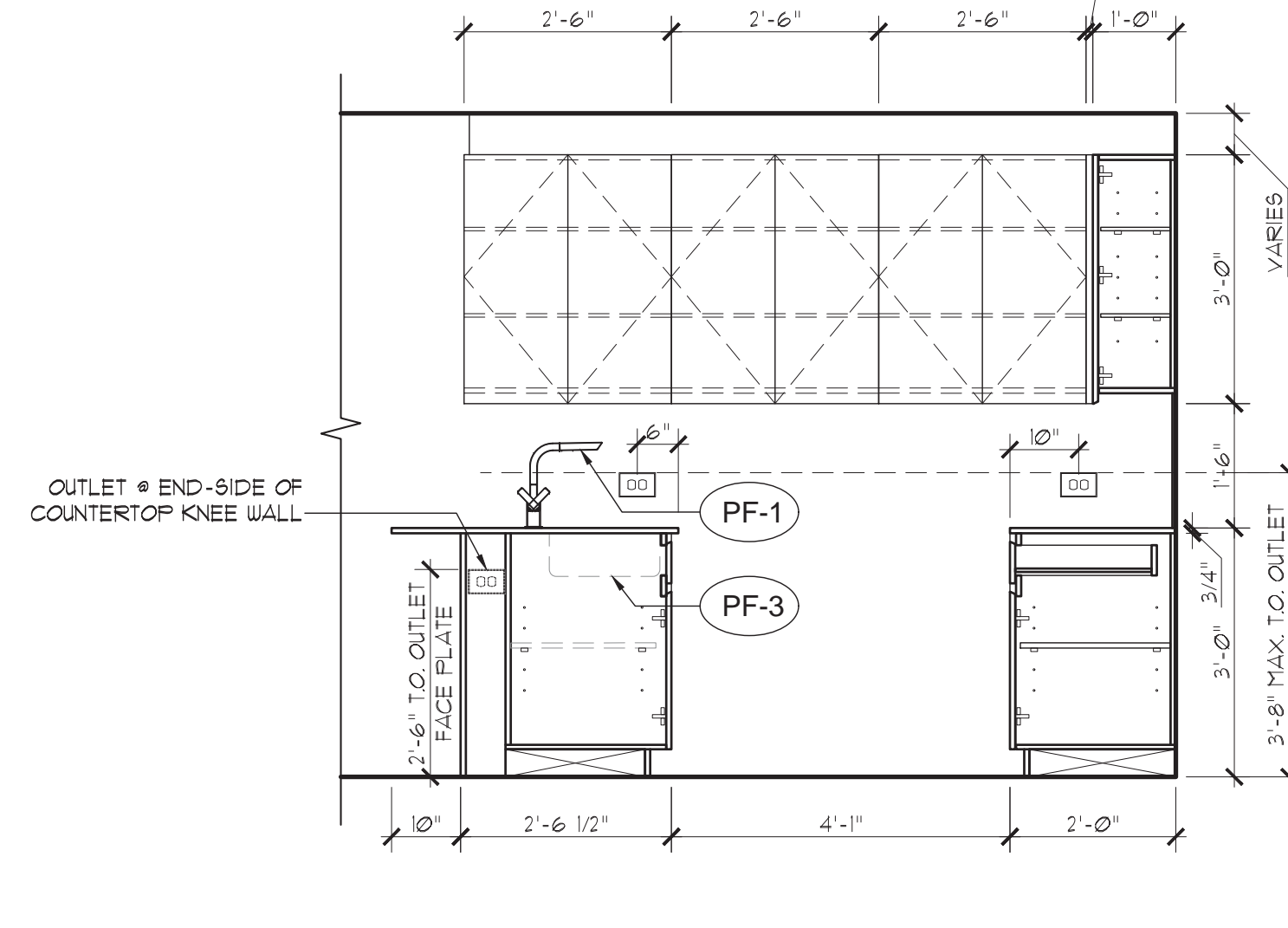
CAD REF: 6/14/16 - 4-00-43 - KITCHEN TYPES 41 OF 40



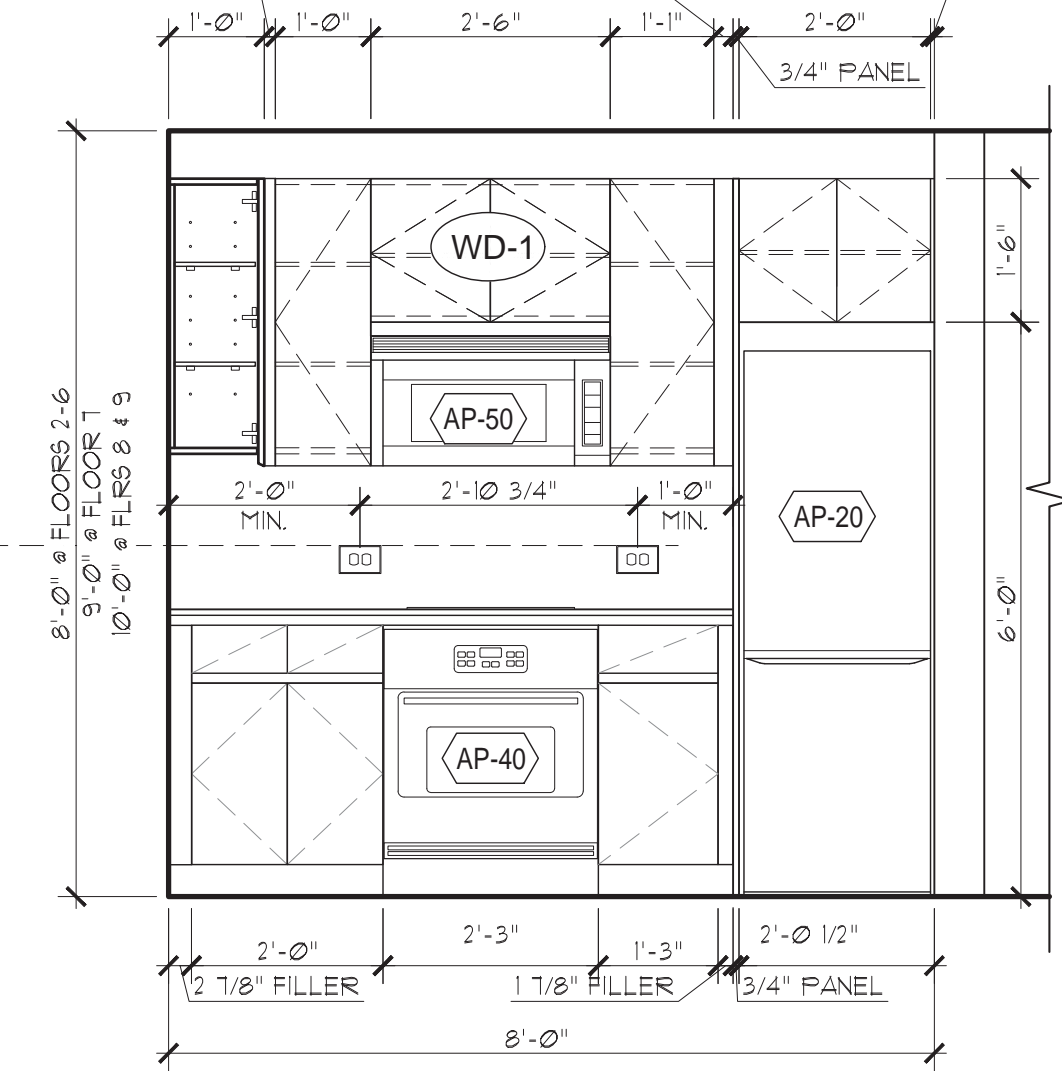
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SCALE: 1/2" = 1'-0"



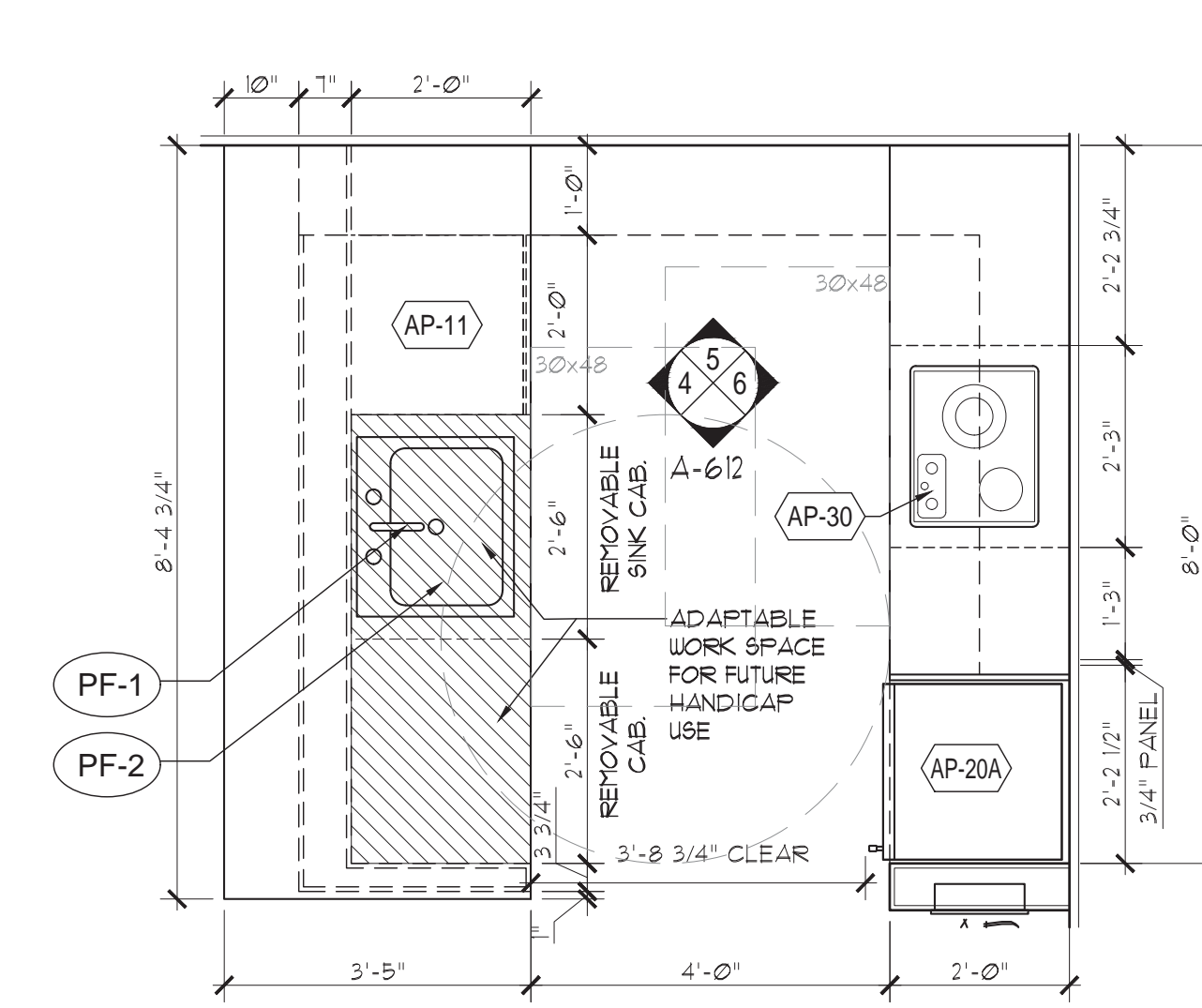
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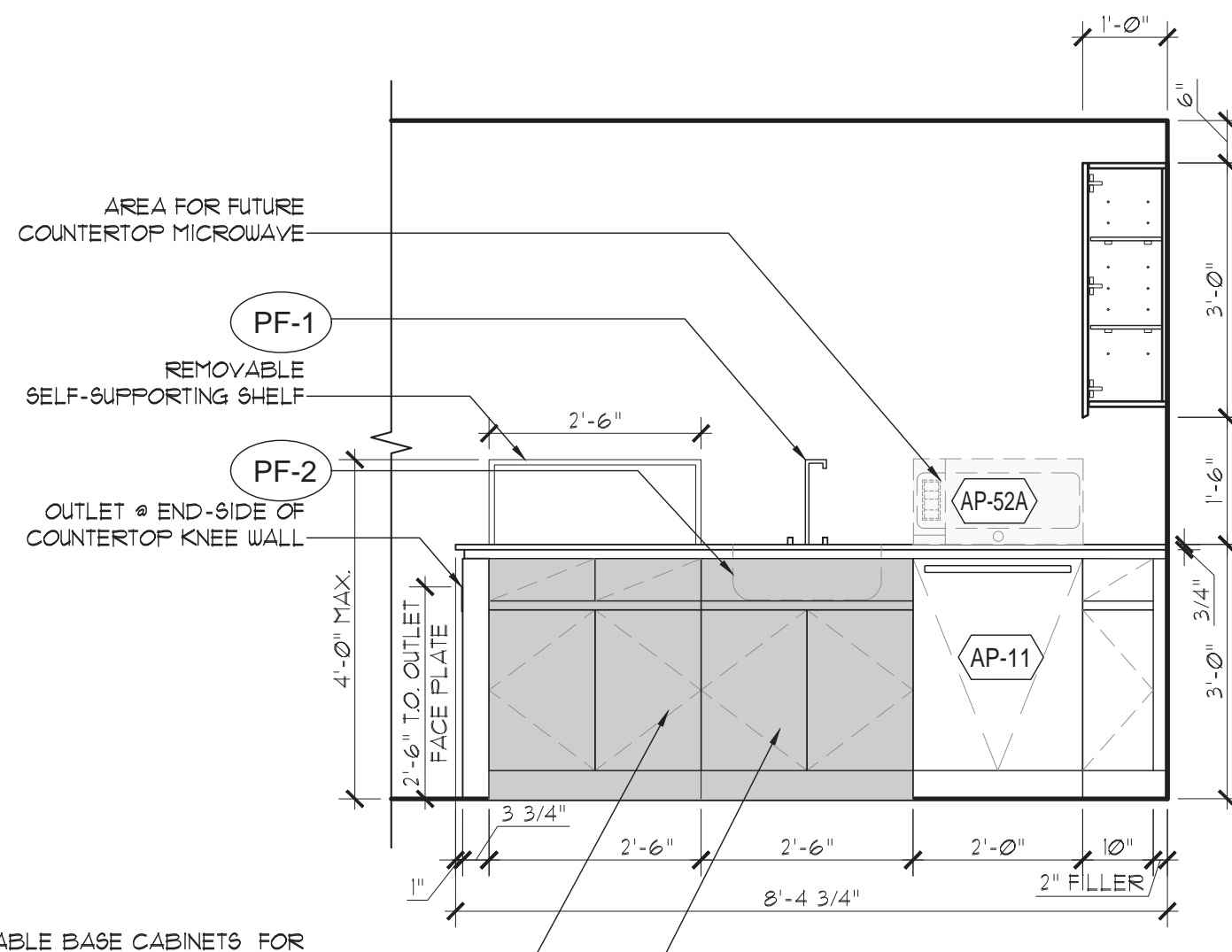
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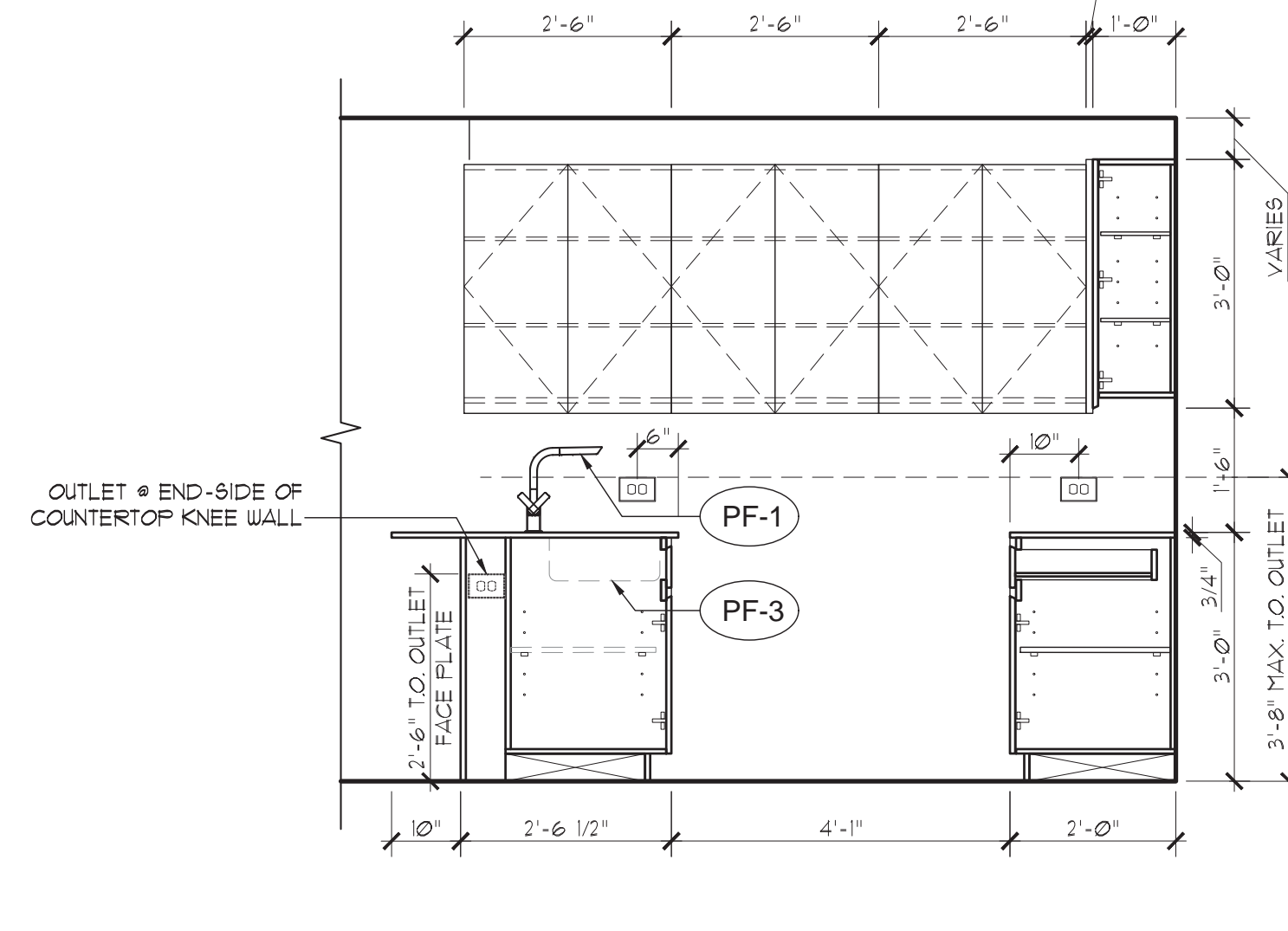
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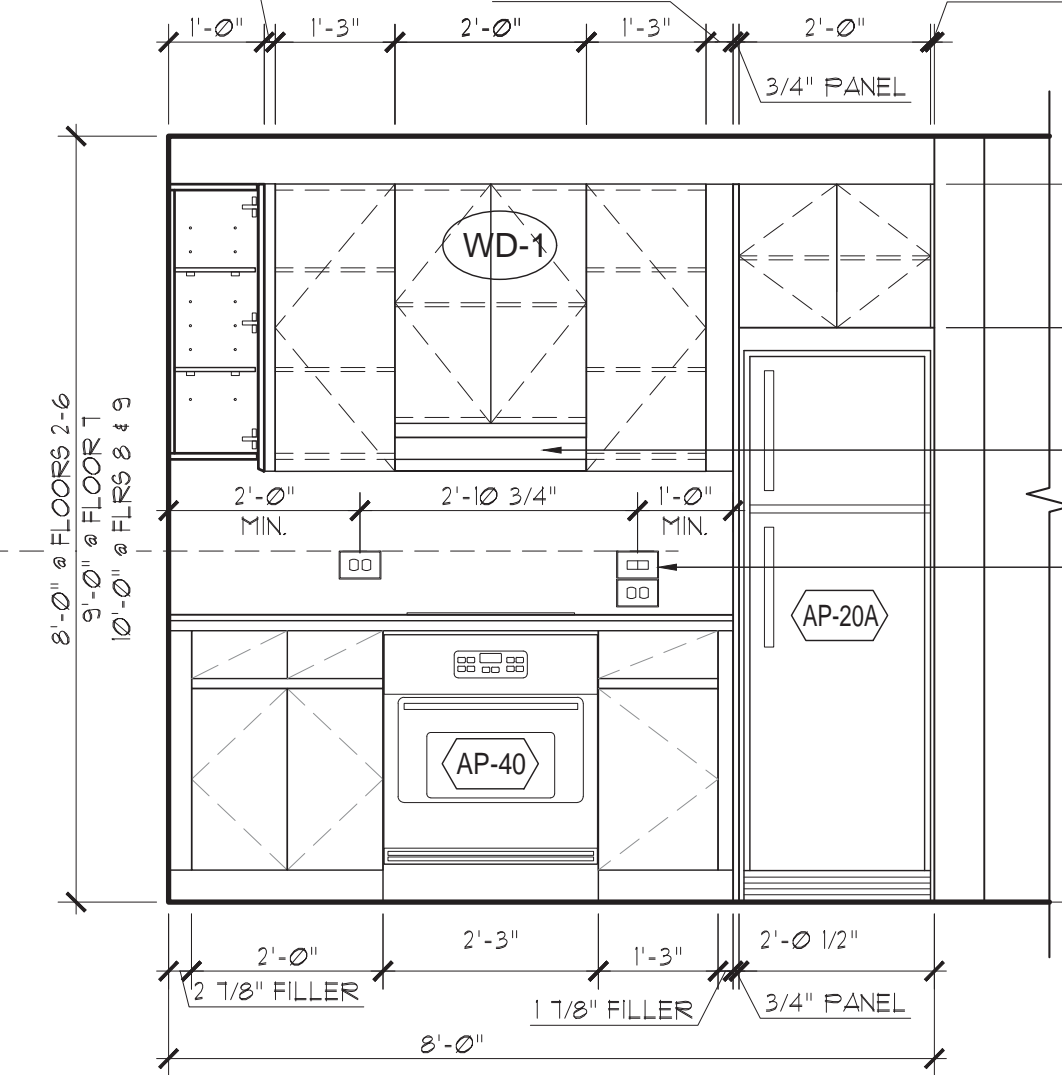
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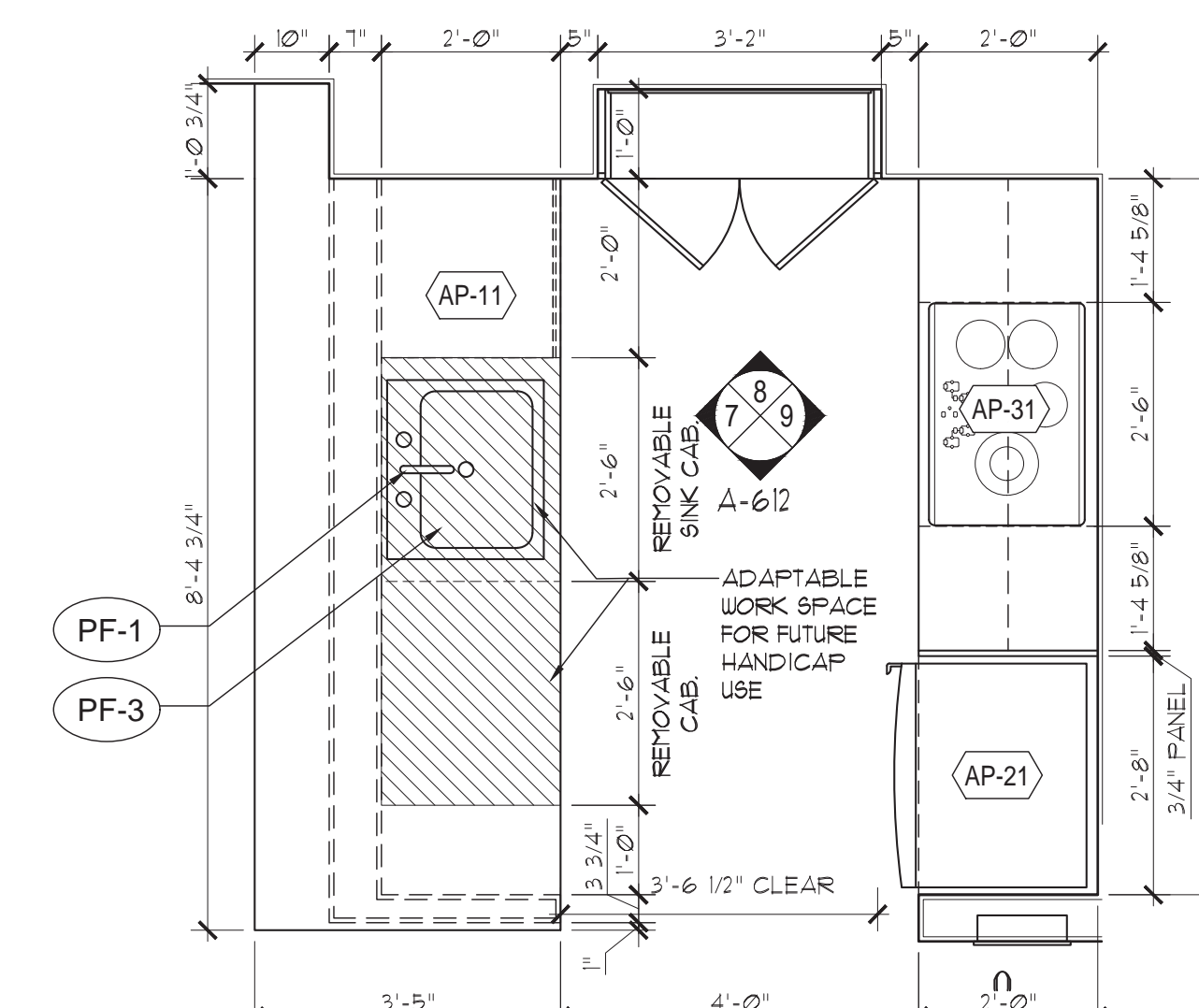
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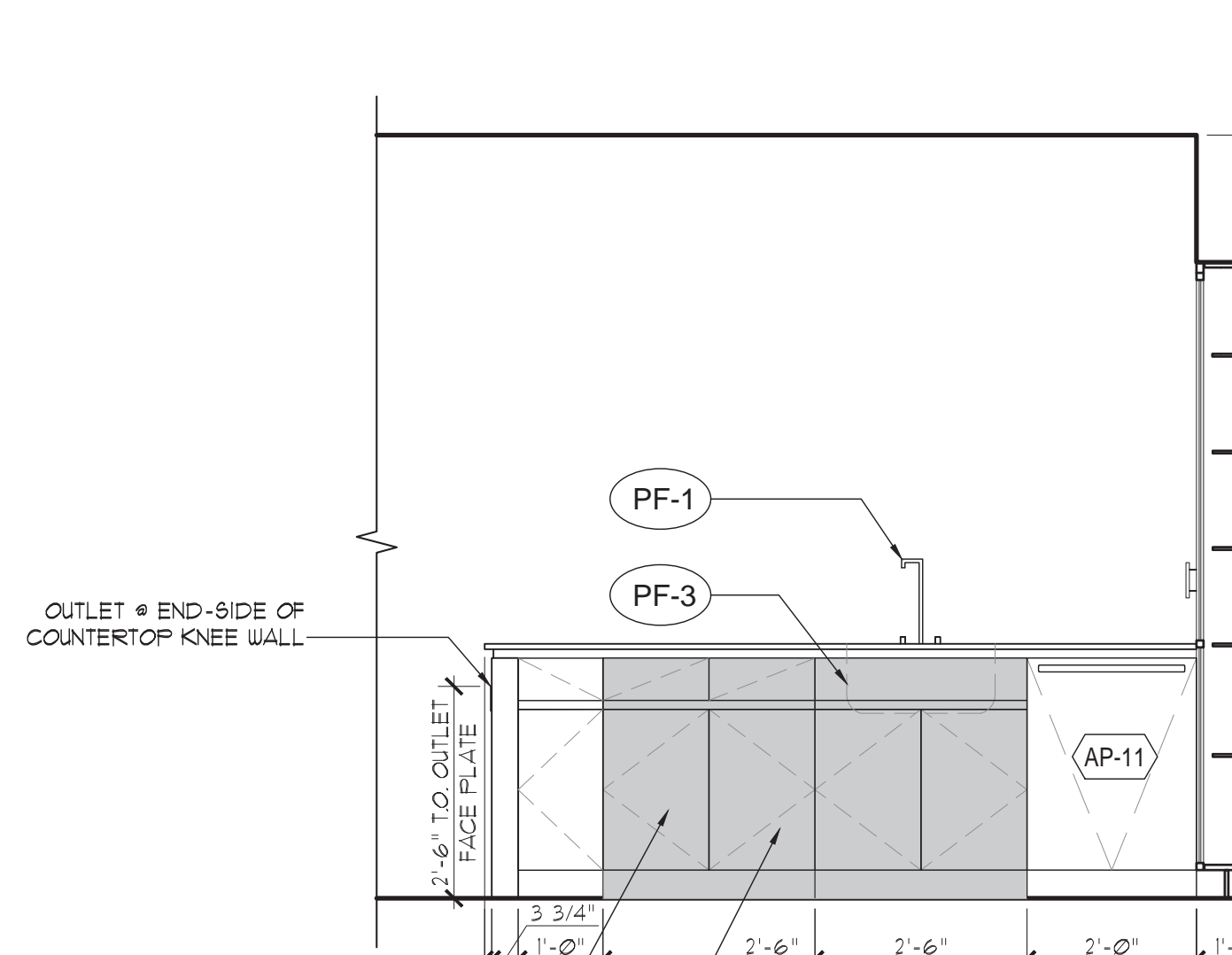
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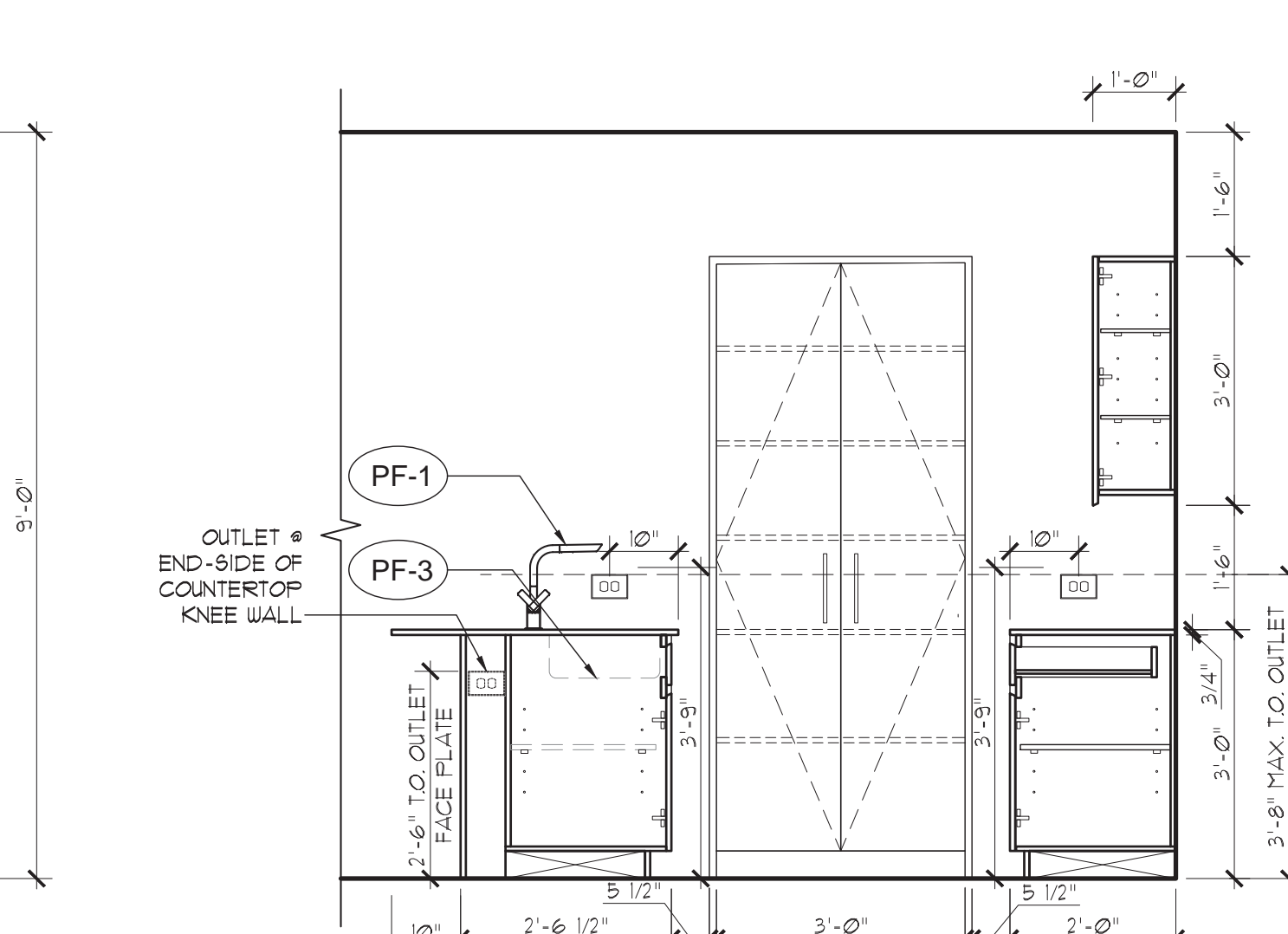
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SCALE: 1/2" = 1'-0"



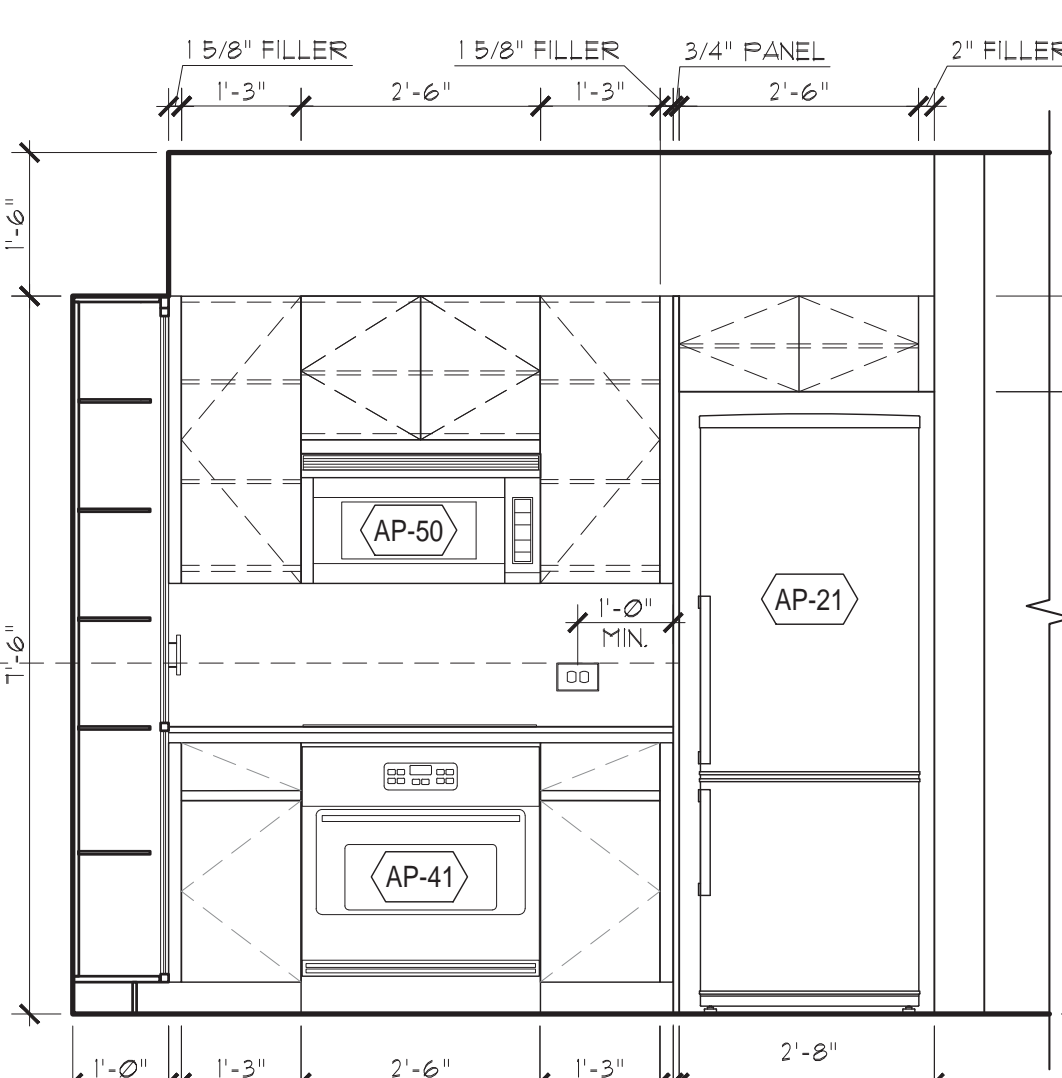
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KITCHEN PLAN
SCALE: 1/2" = 1'-0"



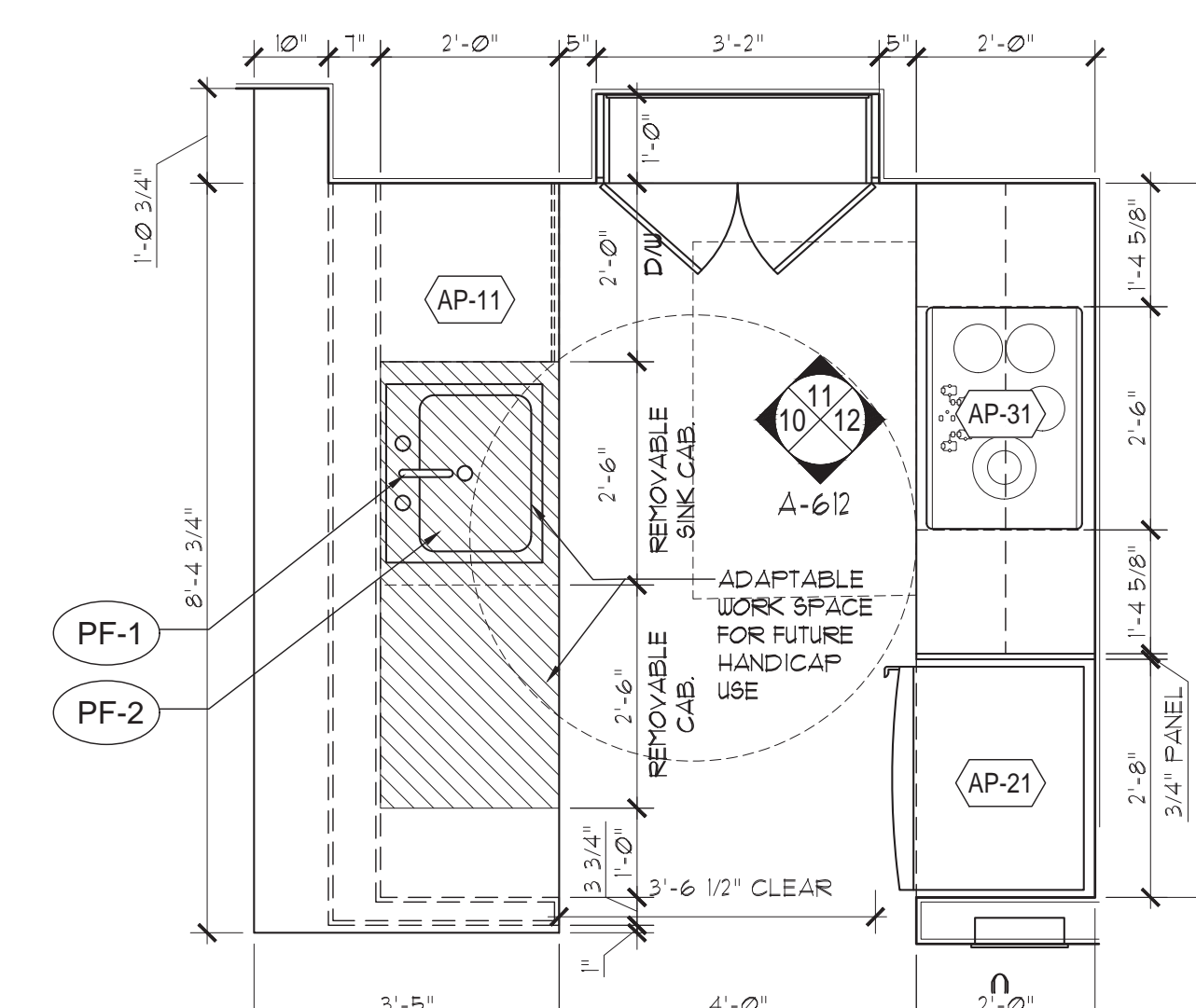
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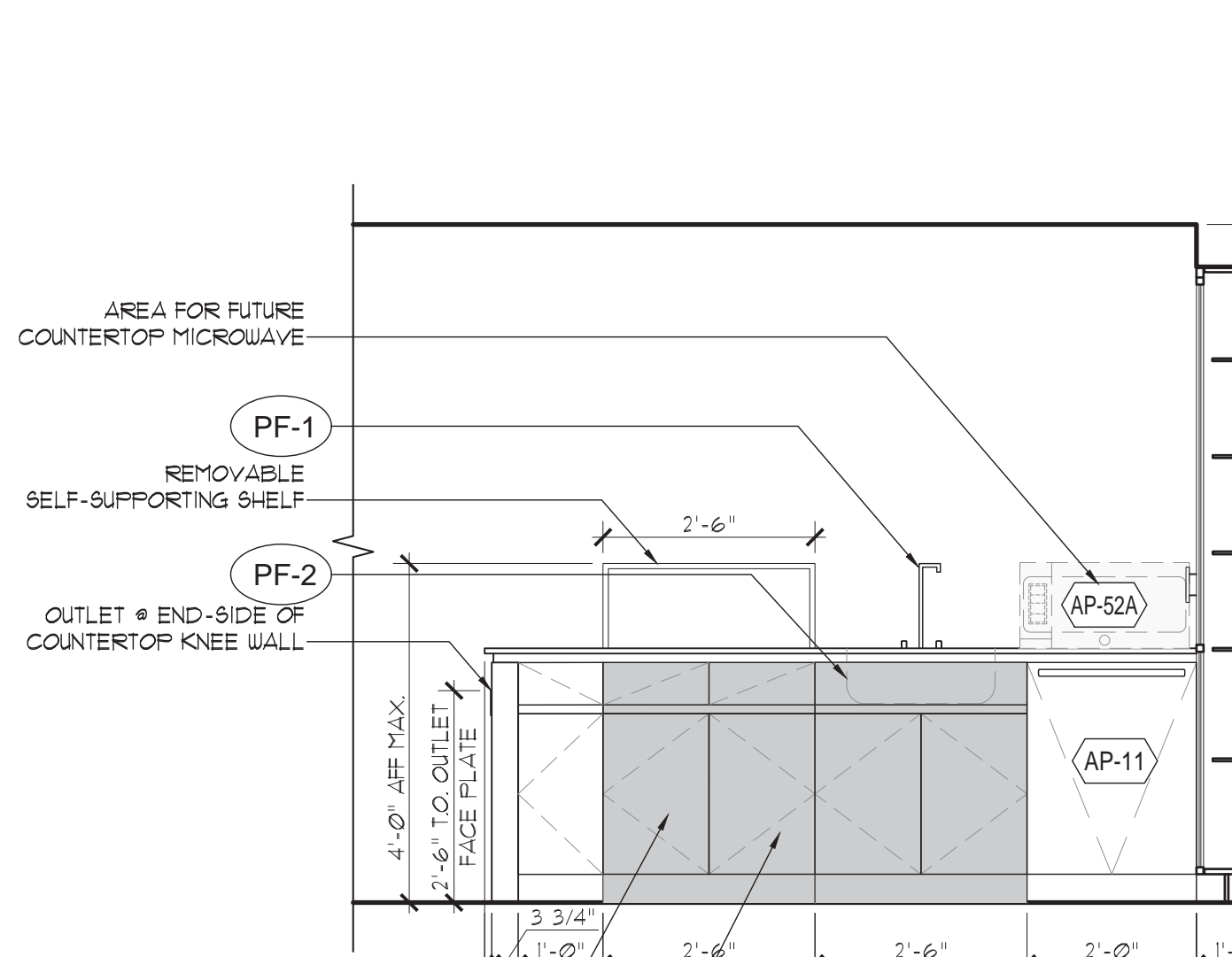
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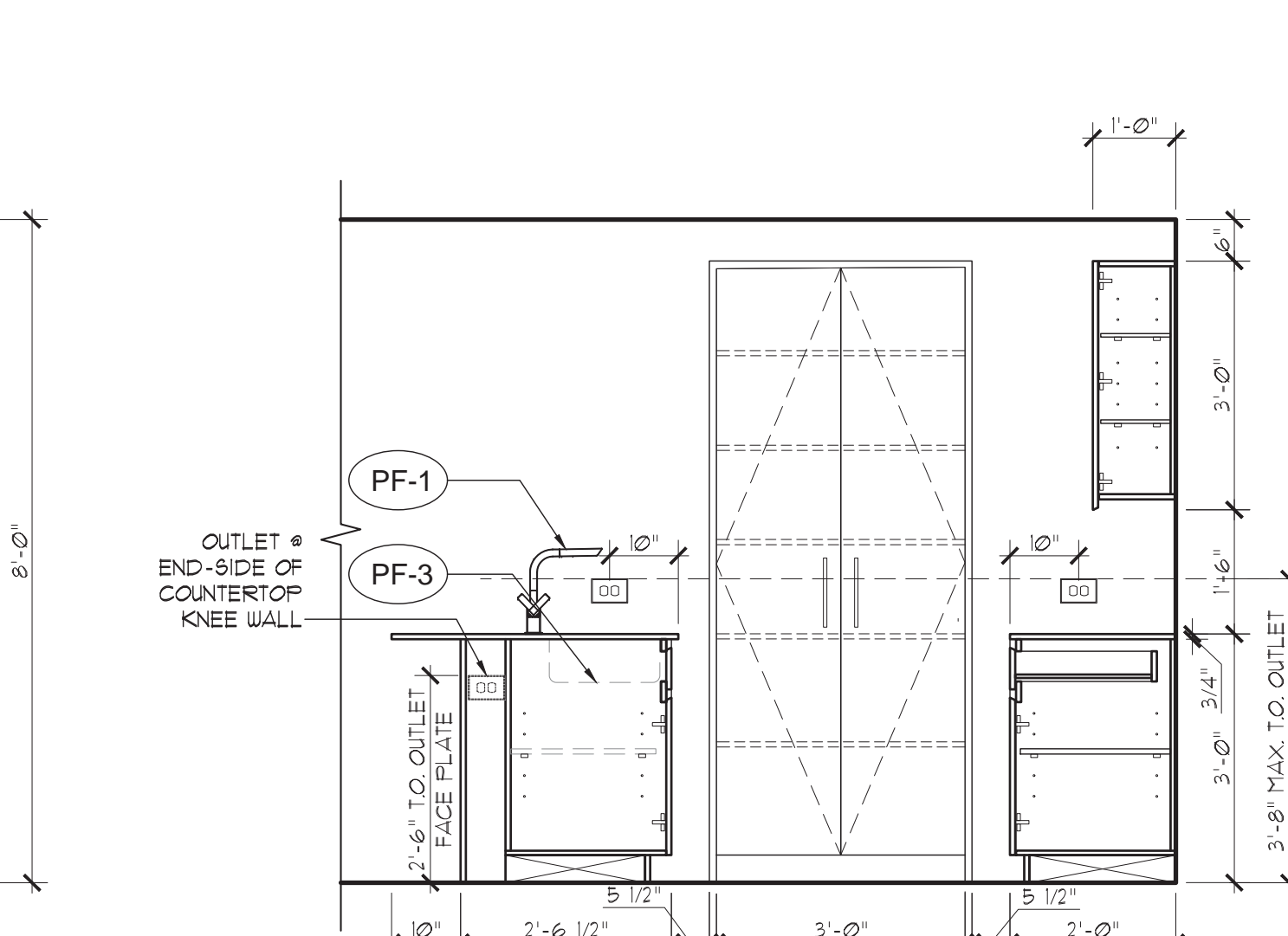
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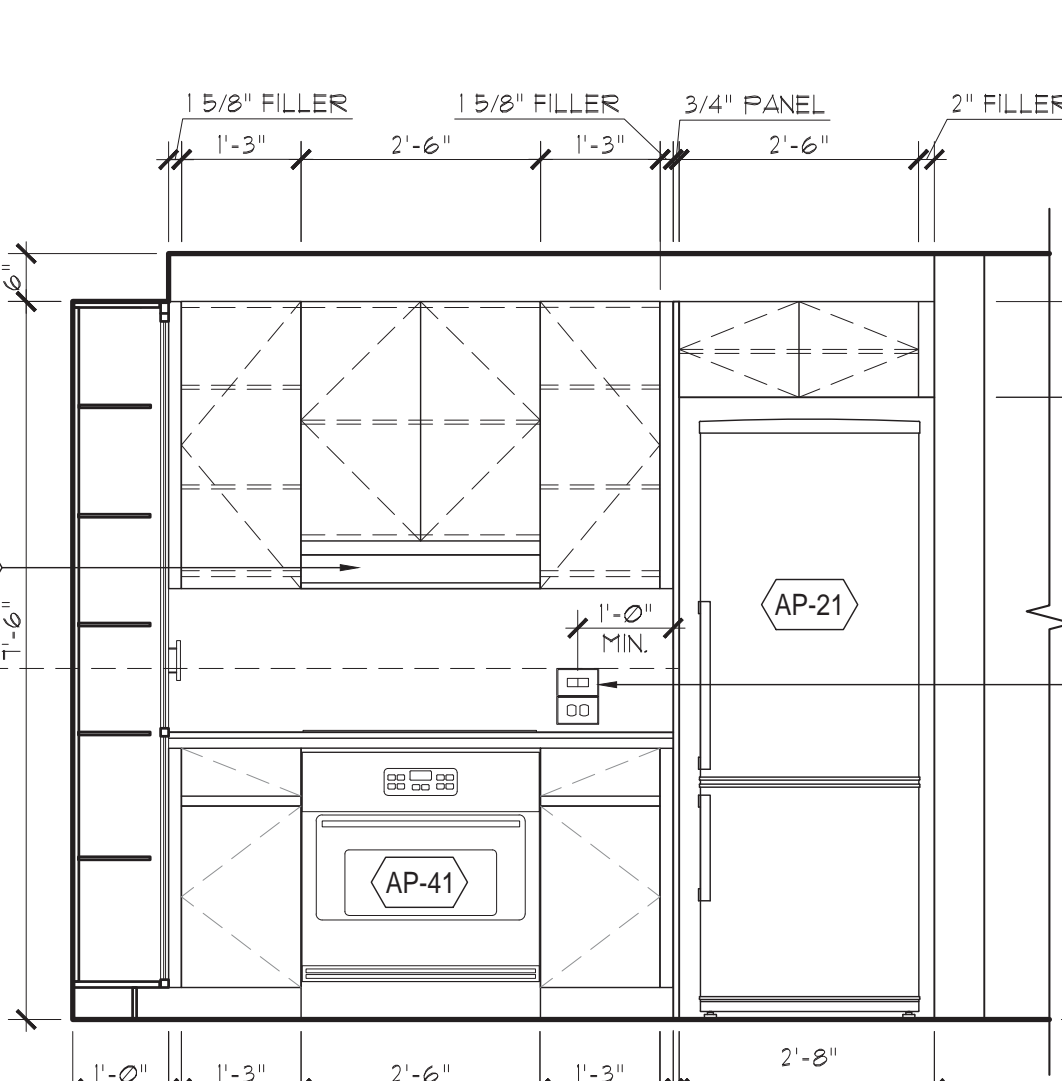
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KITCHEN PLAN
SCALE: 1/2" = 1'-0"



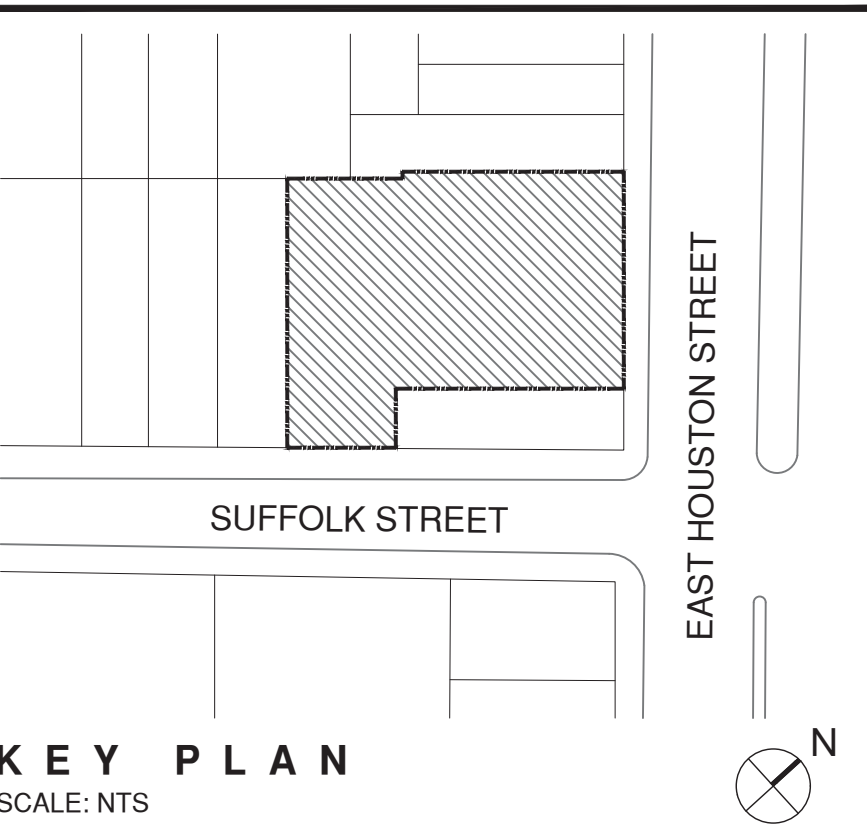
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11 ELEVATION
SCALE: 1/2" = 1'-0"



12 ELEVATION
SCALE: 1/2" = 1'-0"



10/14/16	HPD REVISION 1
-	07/12/16 HPD FILING SET

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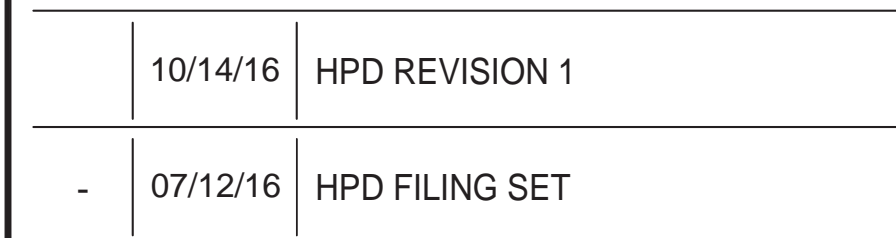
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Drawing Title:
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STEPHEN B. JACOBS
STATE OF NEW YORK
DATE: 07/12/2016
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.:
A-612.00
CNO REF: 6/14/16 - 4-8-00-43 - KIDEN 1955-161
41 OF 40



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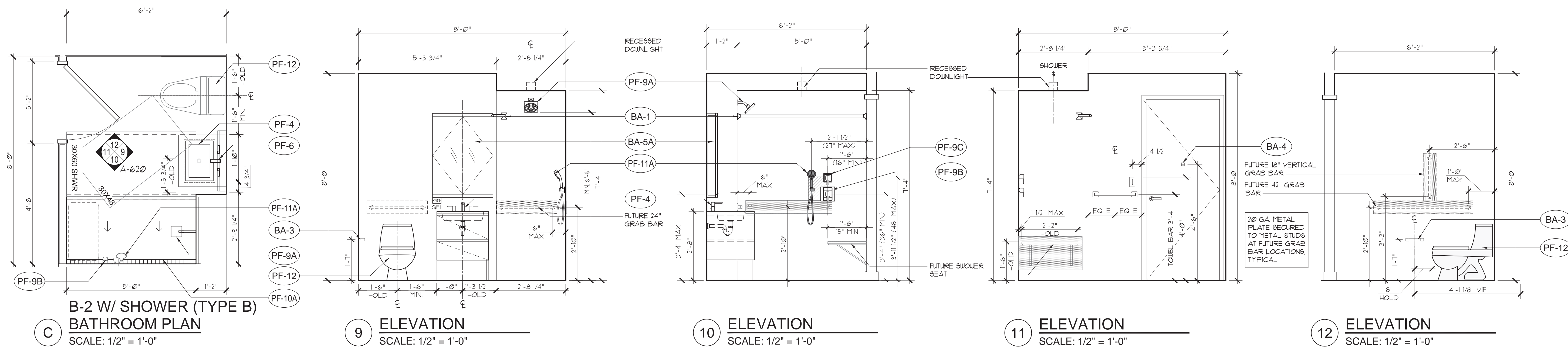
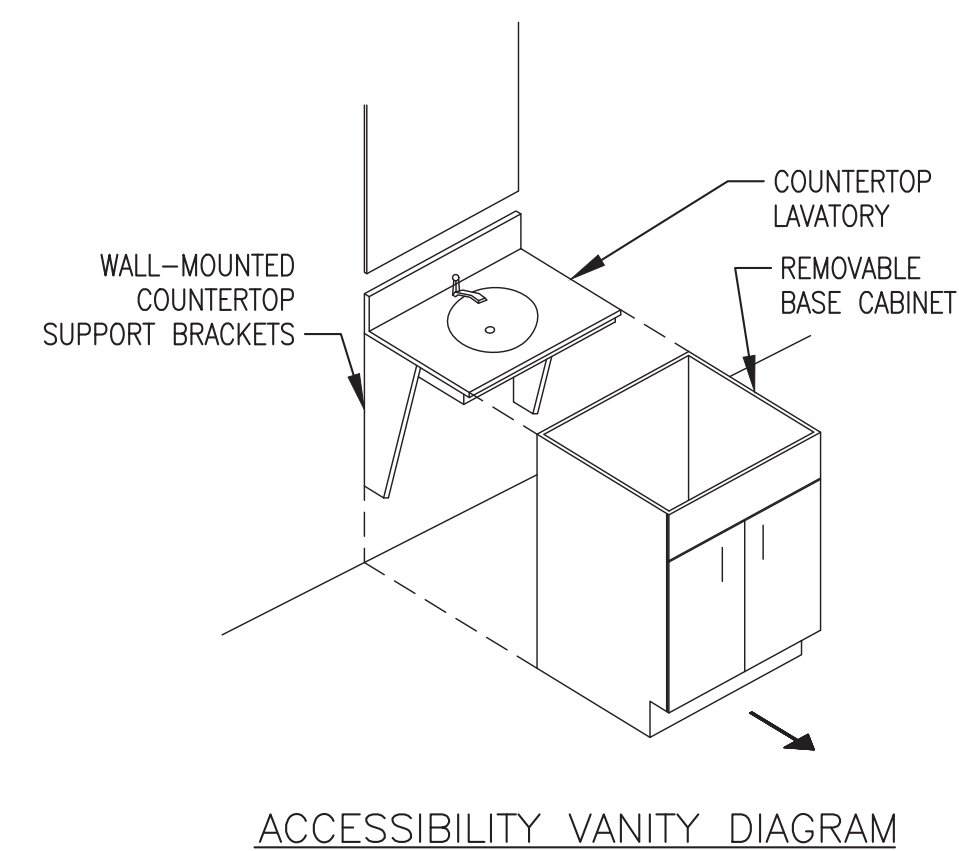
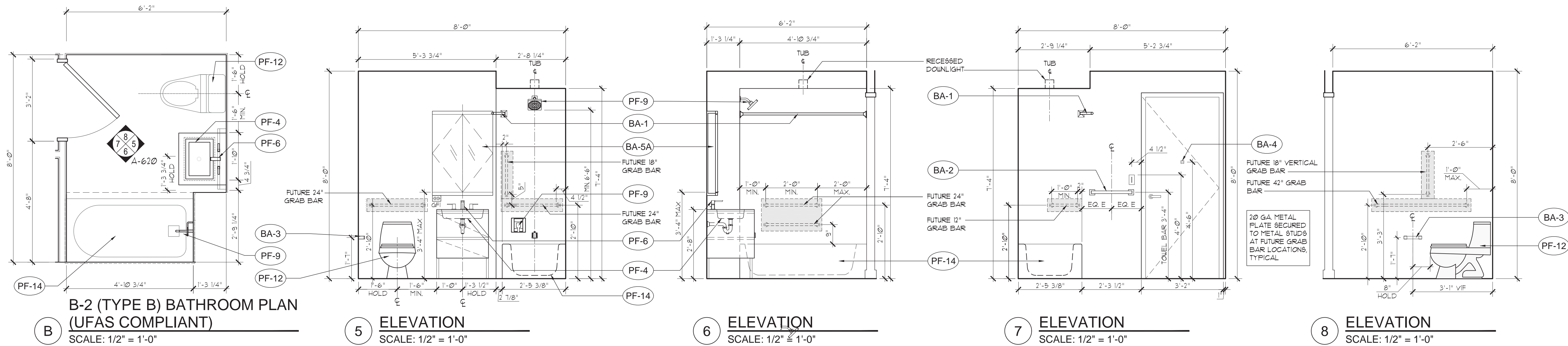
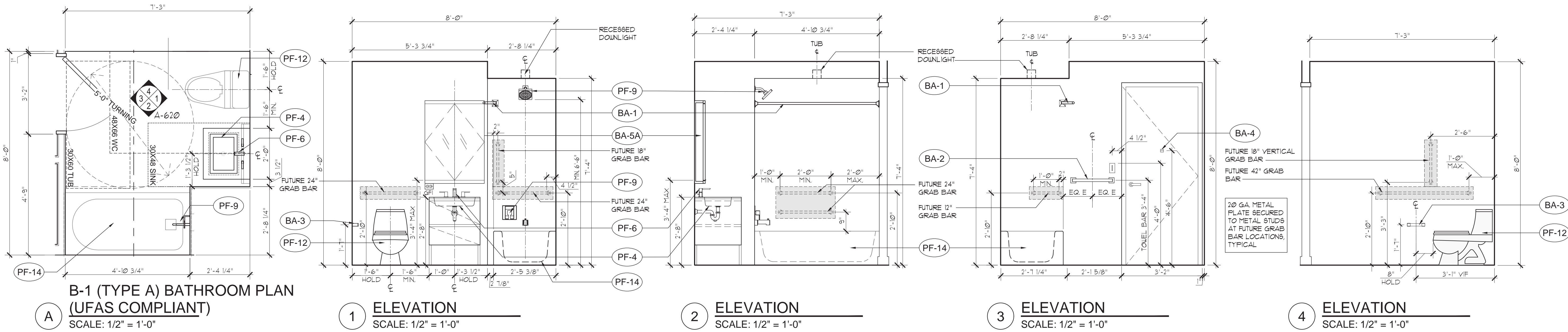
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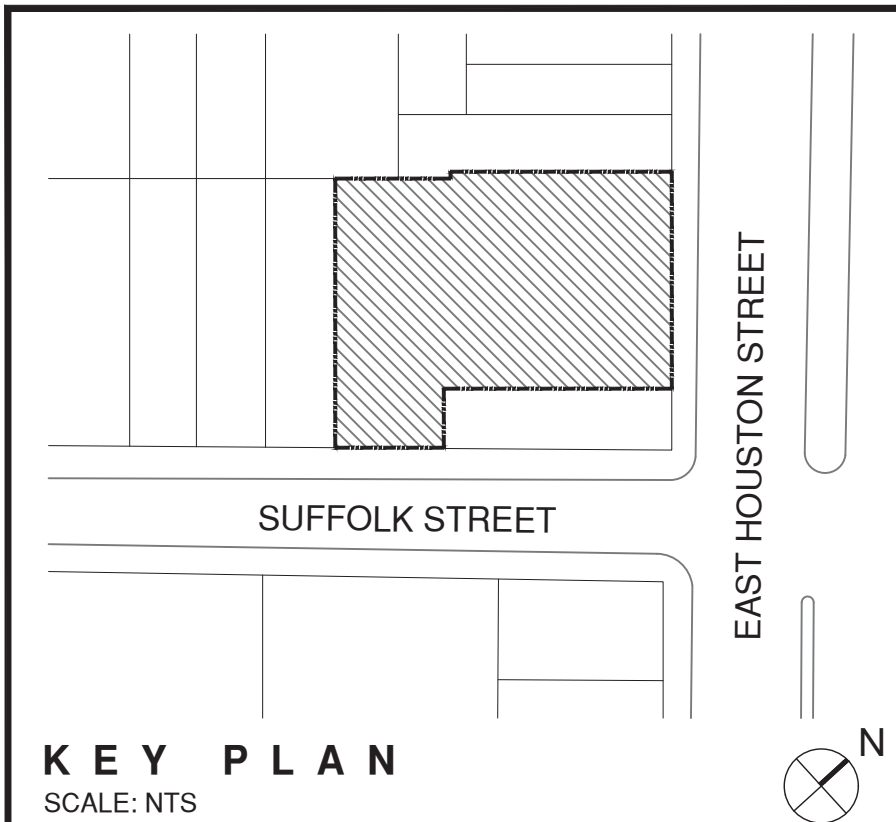
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KITCHEN TYPES

SEAL & SIGNATURE:	DATE: 07/12/2016
	PROJECT#: 1448
	DRAWING SCALE: AS NOTED
	DRAWING NO:
<h1>A-613.00</h1>	
CAD REF: 41 OF 40 <small>CAD FILE: A-613.01.dwg PLOTTER: HPGL4000</small>	



- SHEET NOTES:**
- ALL DIMENSIONS NOTED ON THIS SHEET ARE FINISH TO FINISH. SEE PLANS FOR STUD DIMENSIONS.
 - ALL OUTLETS SHALL BE GFI OUTLETS. G.C TO SUBMIT SAMPLES FOR ARCHITECT & OWNERSHIP APPROVAL.
 - CONTRACTOR TO INSTALL SCHLUTER-KERDI OR EQUAL LIQUID MEMBRANE WATERPROOFING AT ALL BATHROOM FLOORS. TURN UP 12" AT ALL TYP WALLS. INSTALL TO FULL HEIGHT AT SHOWER WALLS AND TUB/SHOWER COMBO WALLS.
 - CONTRACTOR SHALL PROVIDE AND INSTALL 20 GA METAL PLATE SECURED STUDS AT ALL FUTURE GRAB BAR LOCATIONS (TYP). PLATE DIMENSIONS TO BE 3" MIN. OFFSET FROM LONGITUDINAL CENTERLINE & OFF CENTER OF GRAB BAR ENDS.
 - ALL WATER CLOSET FLUSH CONTROLS TO BE AT THE OPEN (LAVATORY / SHOWER SIDE).
 - ALL APPLICABLE ICC/ANSI A117.1-2003 SAFE HARBOR, FAIR HOUSING ACT 1991 & HUD SECTION 504 REGULATIONS AND GUIDELINES ARE IN EFFECT.



10/14/16	HPD REVISION 1
07/12/16	HPD FILING SET
08/14/15	DOB FILING SET

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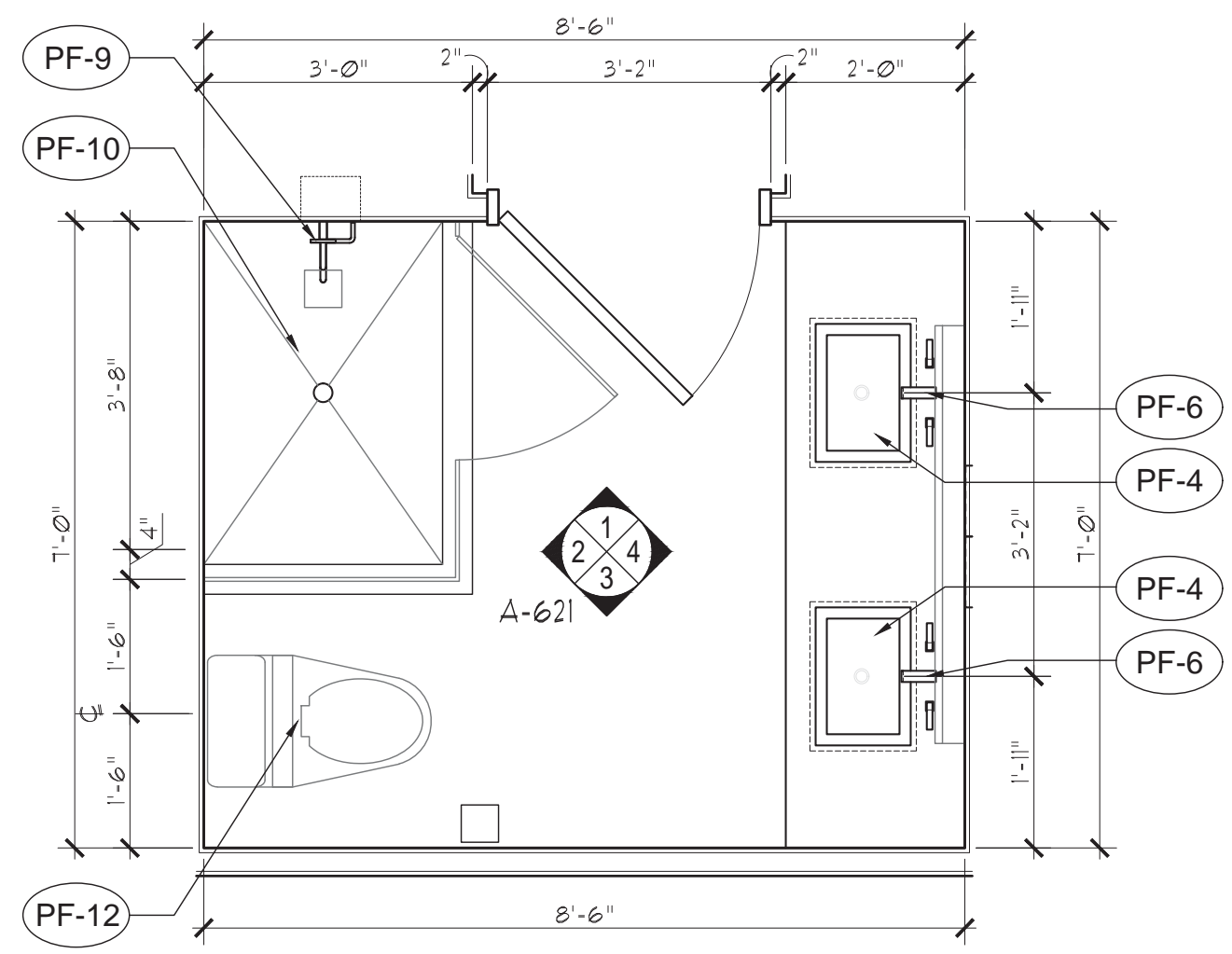
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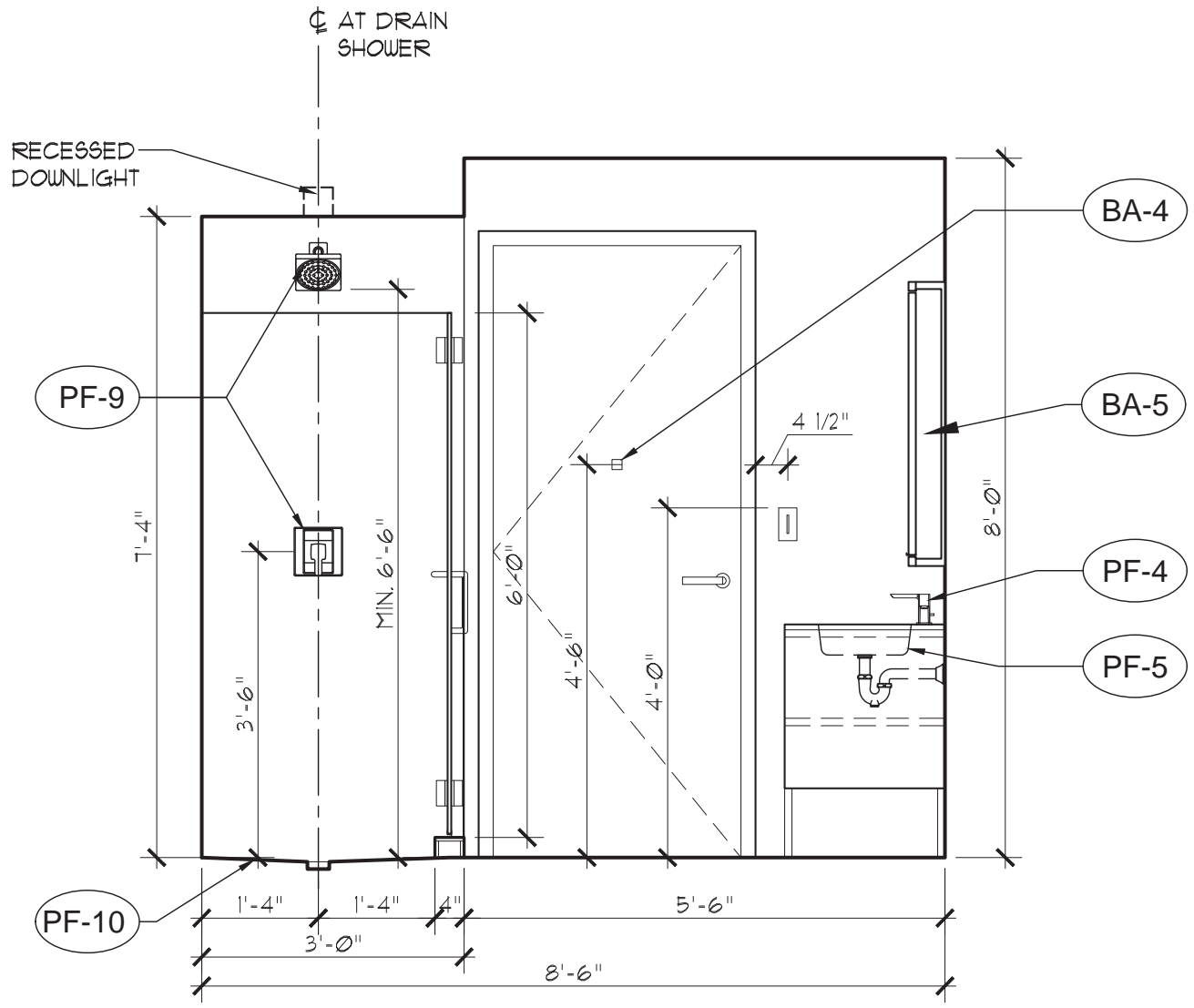
255 EAST HOUSTON ST.
MANHATTAN, N.Y. 10002

Drawing Title:
BATHROOM TYPES

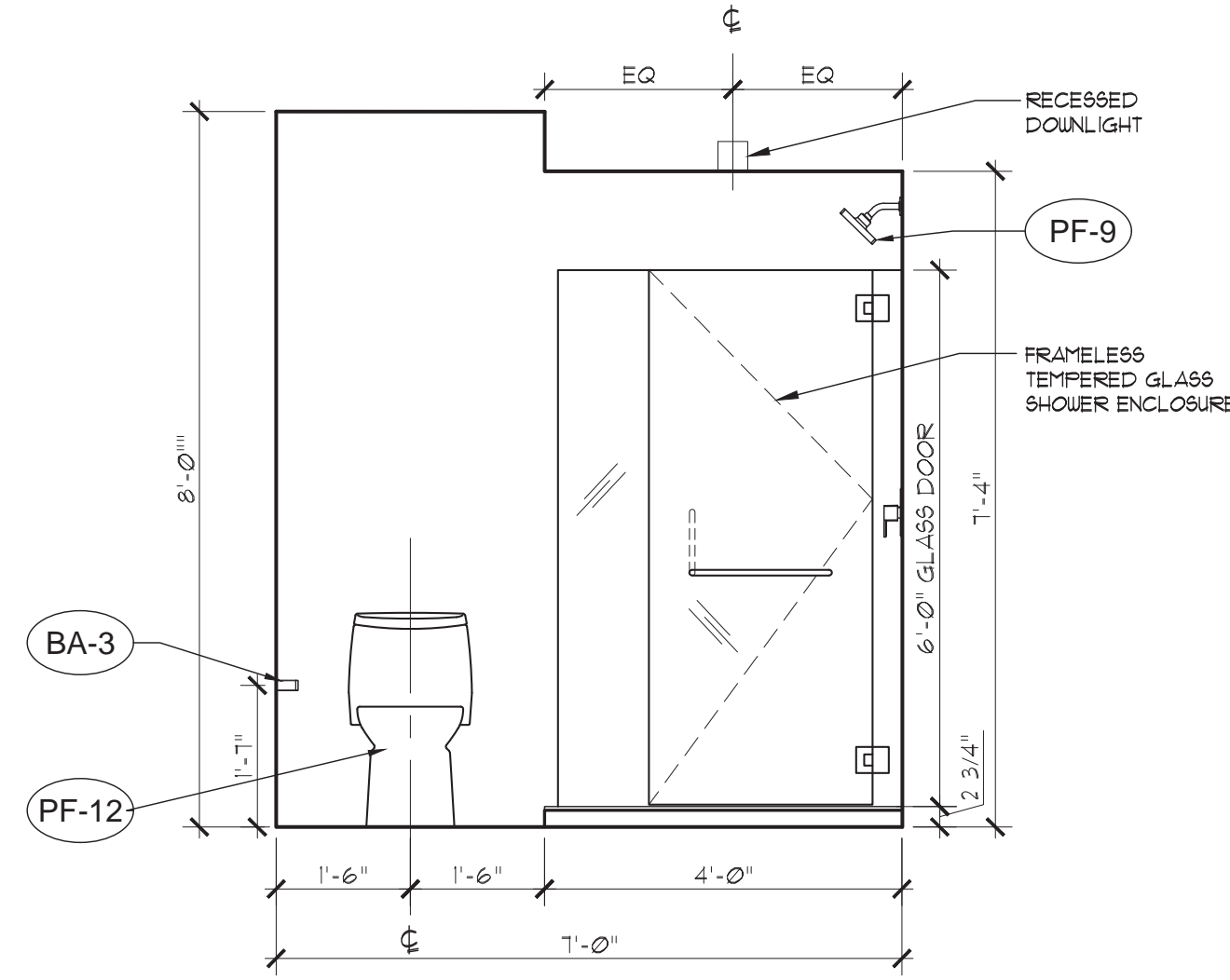
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REGISTERED ARCHITECT
STATE OF NEW YORK
DATE: 08/07/2015
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-620.00
CNO REF: 6/14/16 - A-620-01 - BATHROOM TYPES



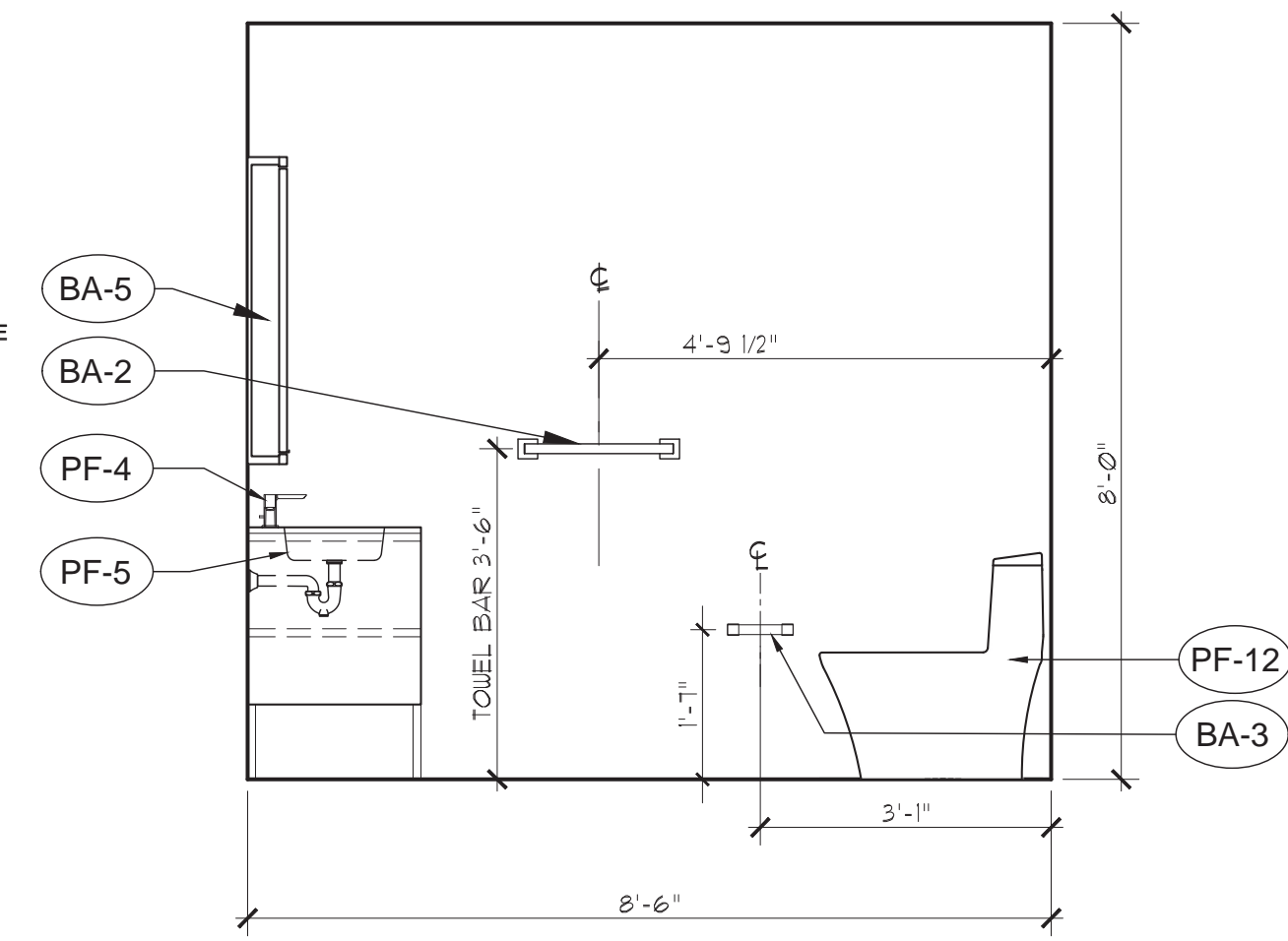
B-3
BATHROOM PLAN
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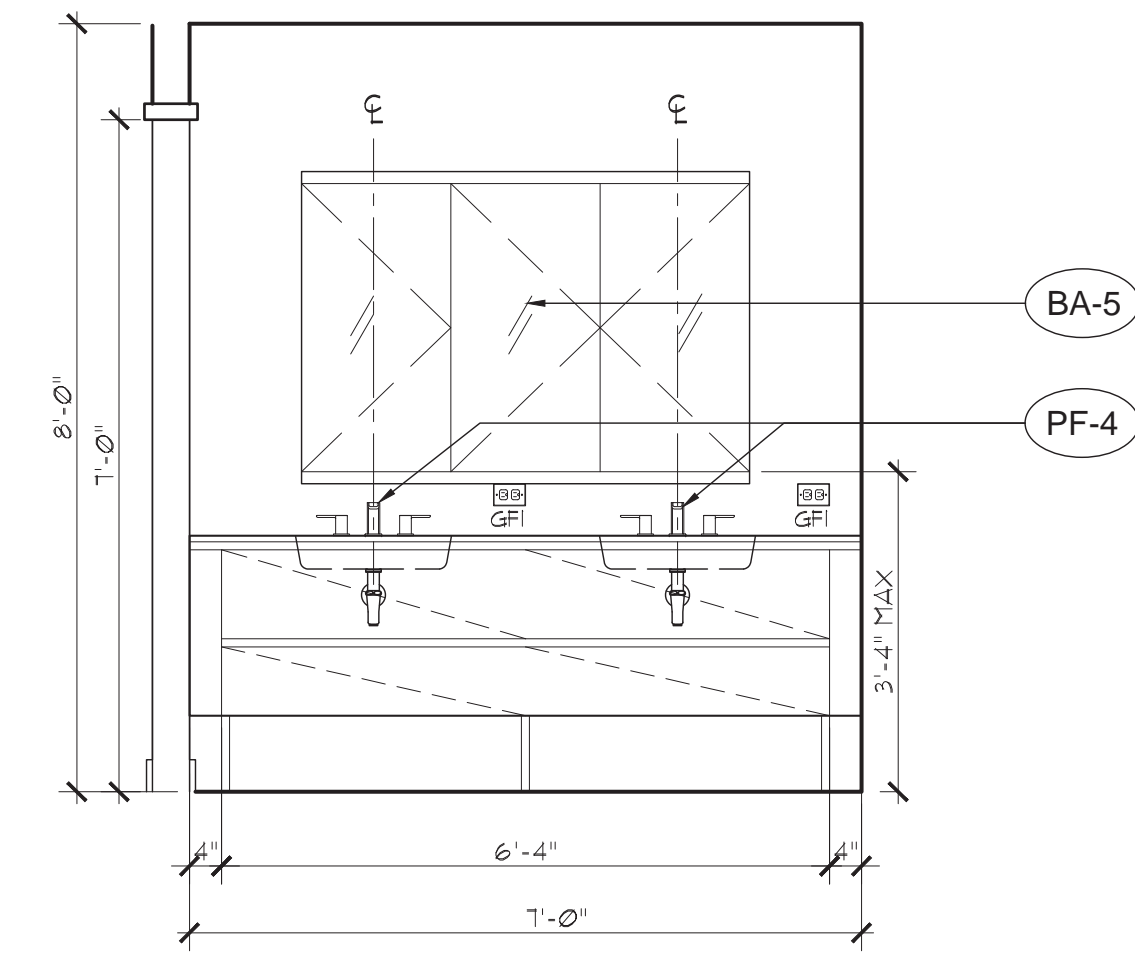
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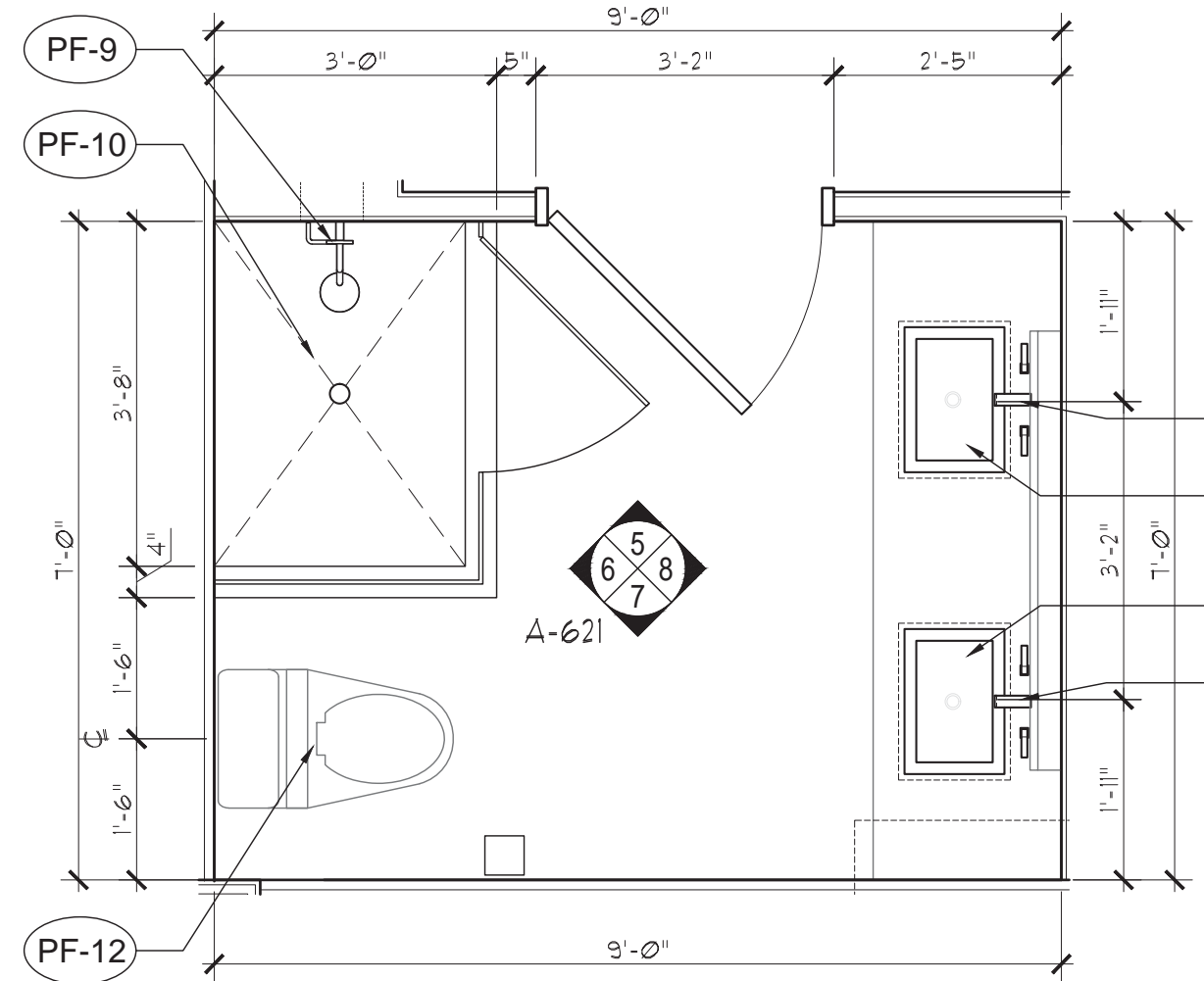
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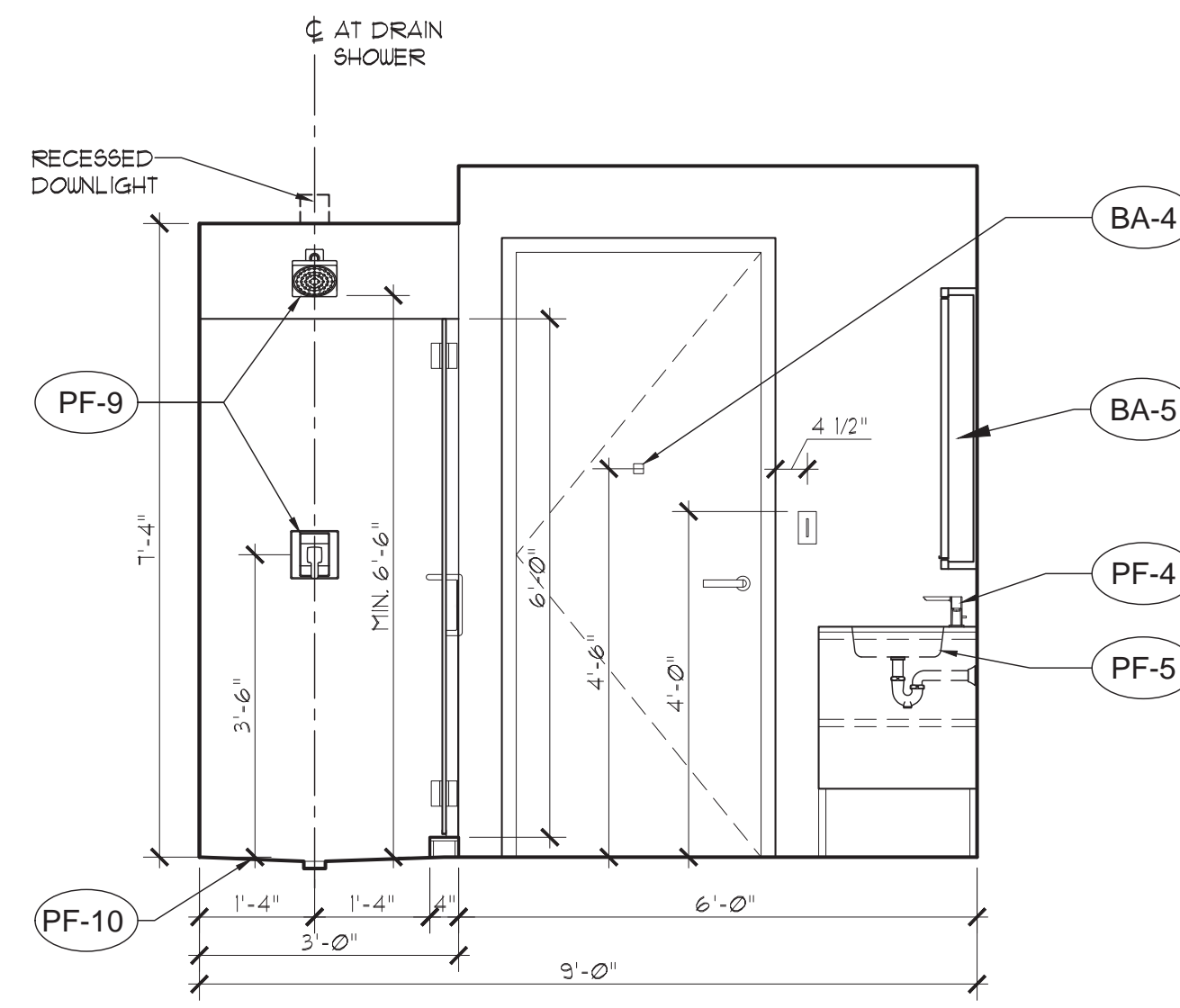
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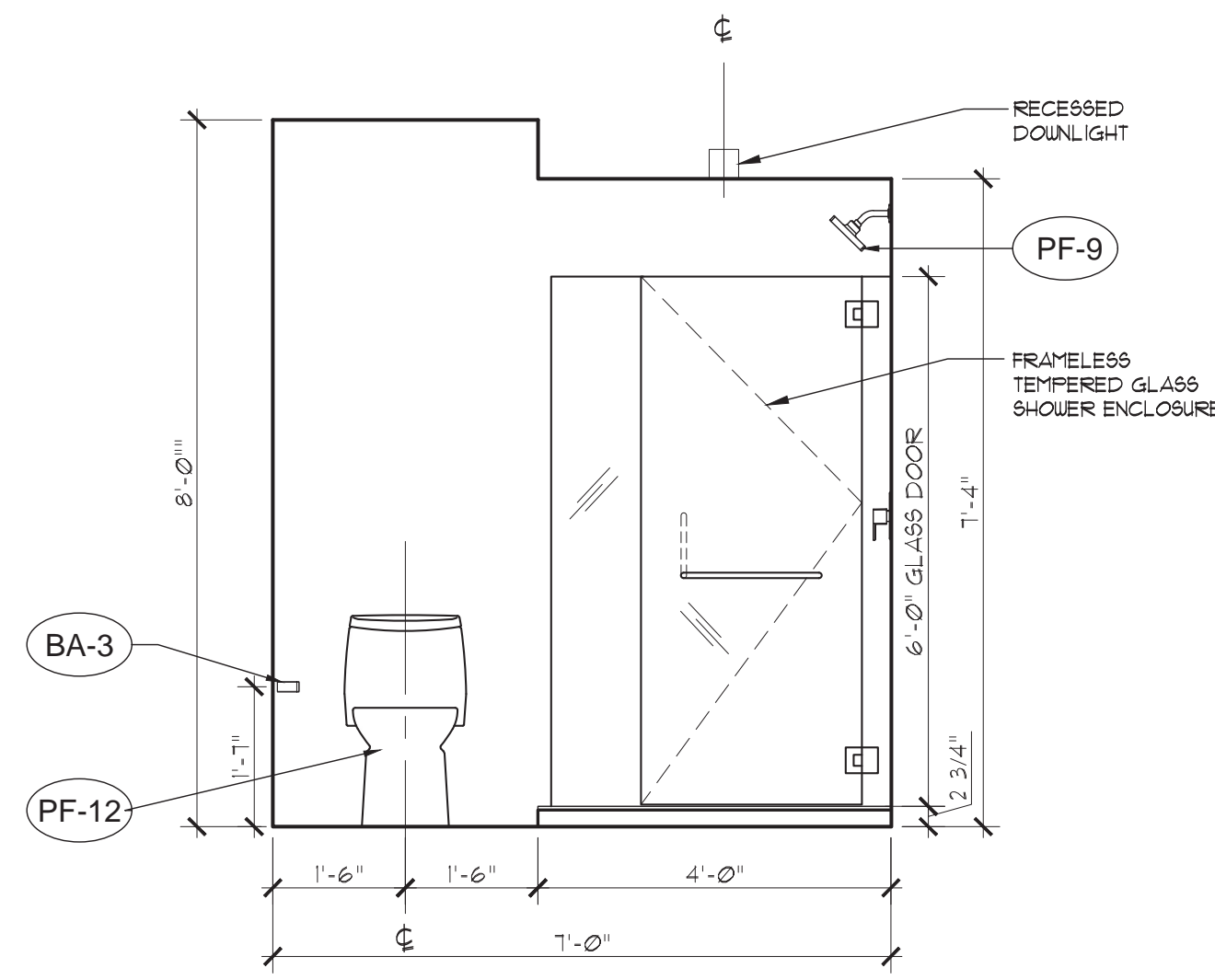
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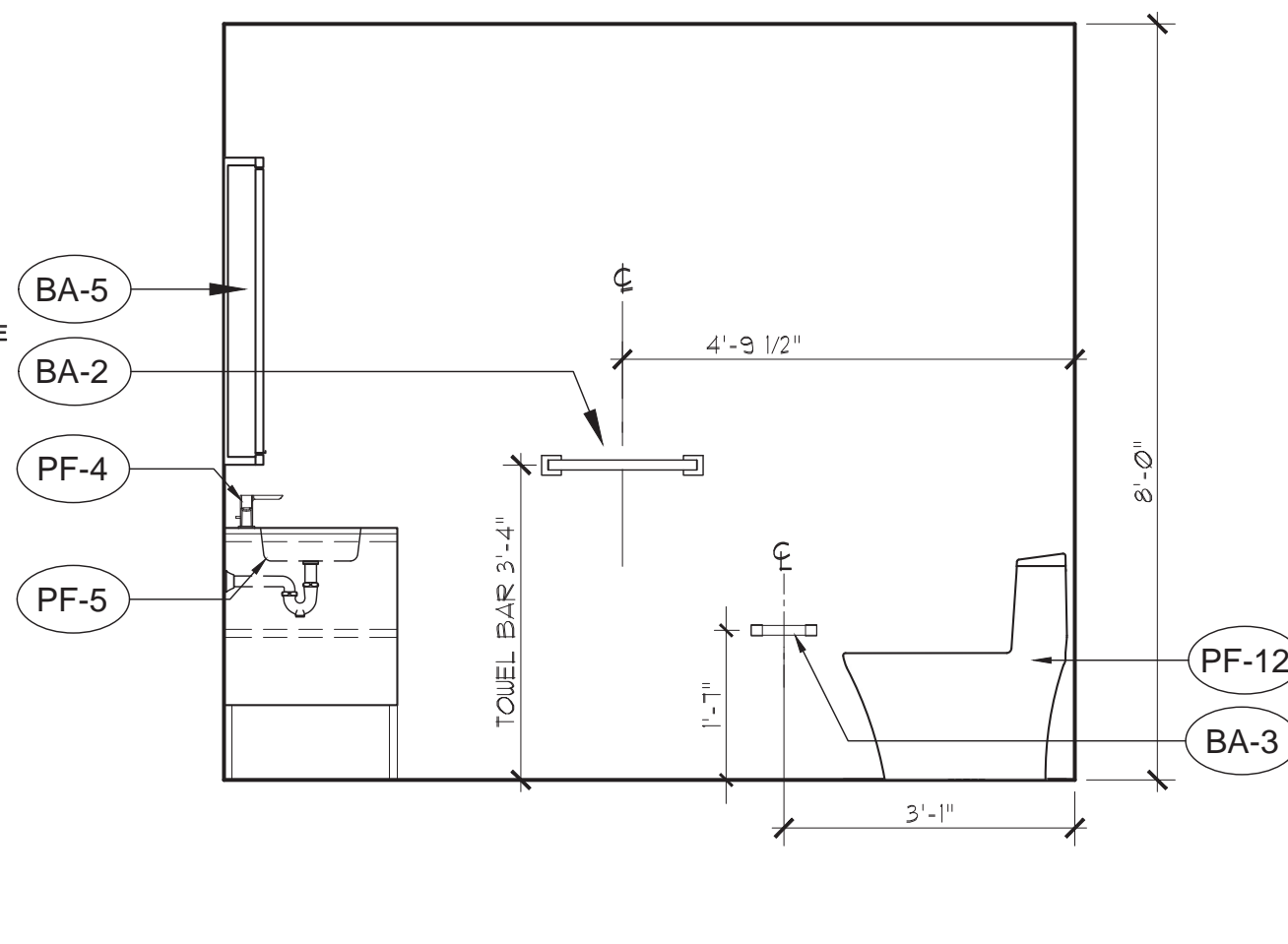
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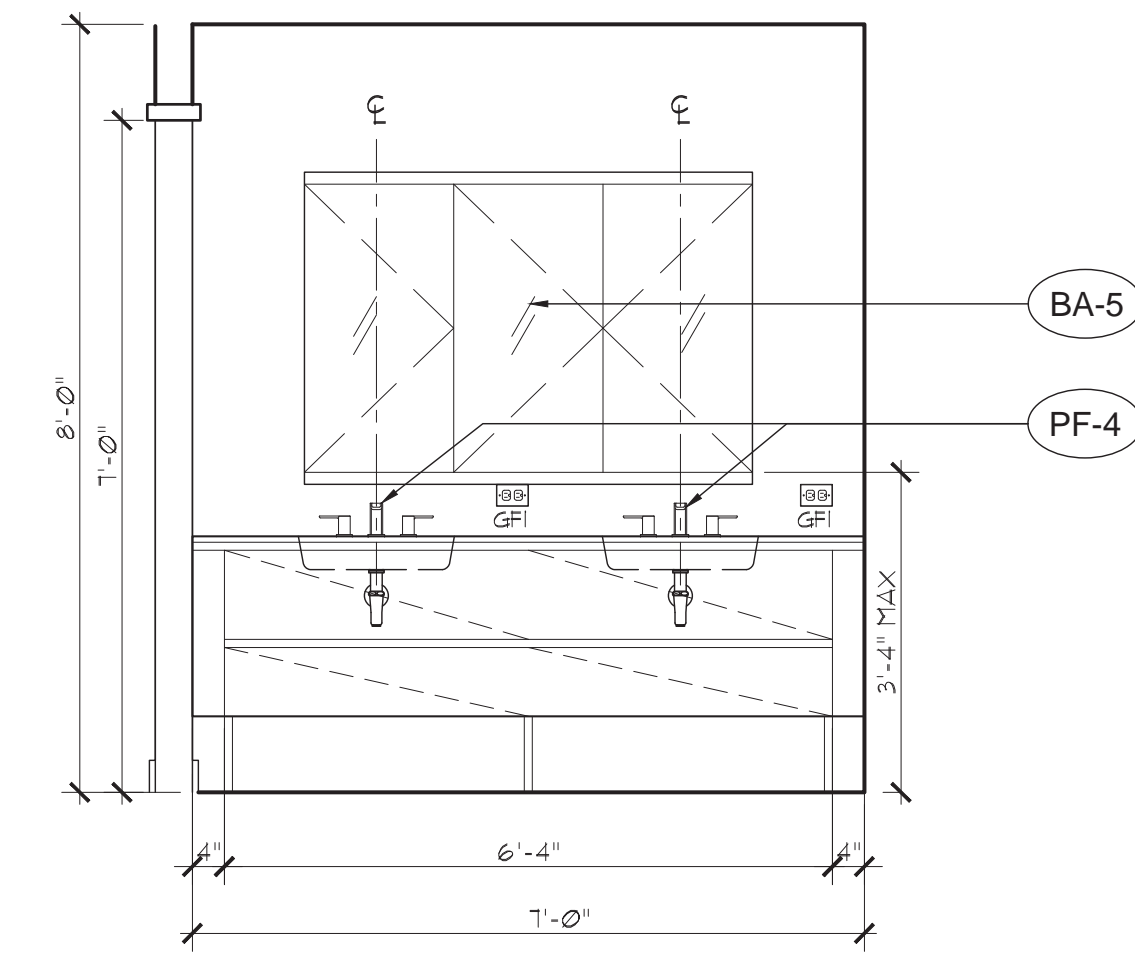
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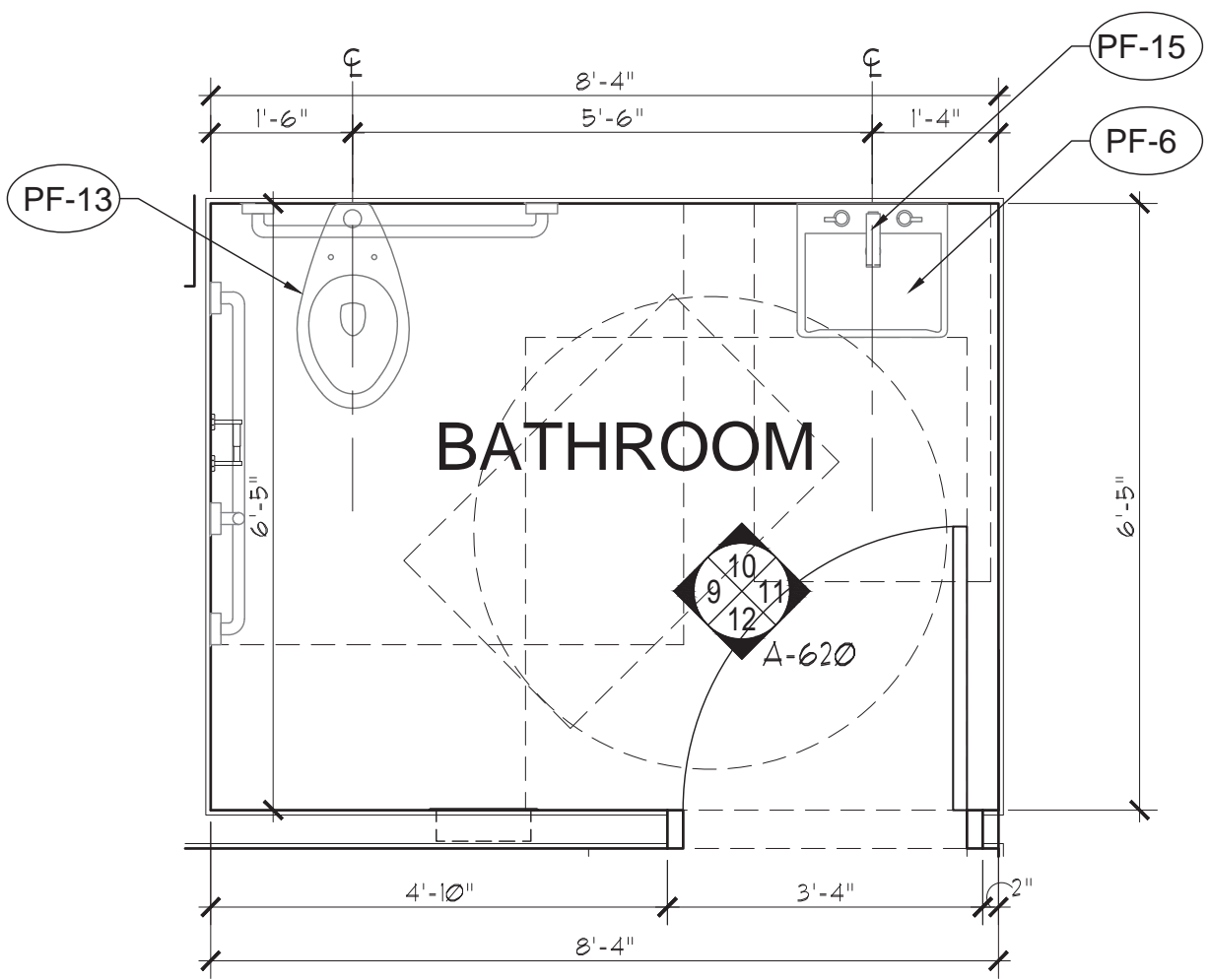
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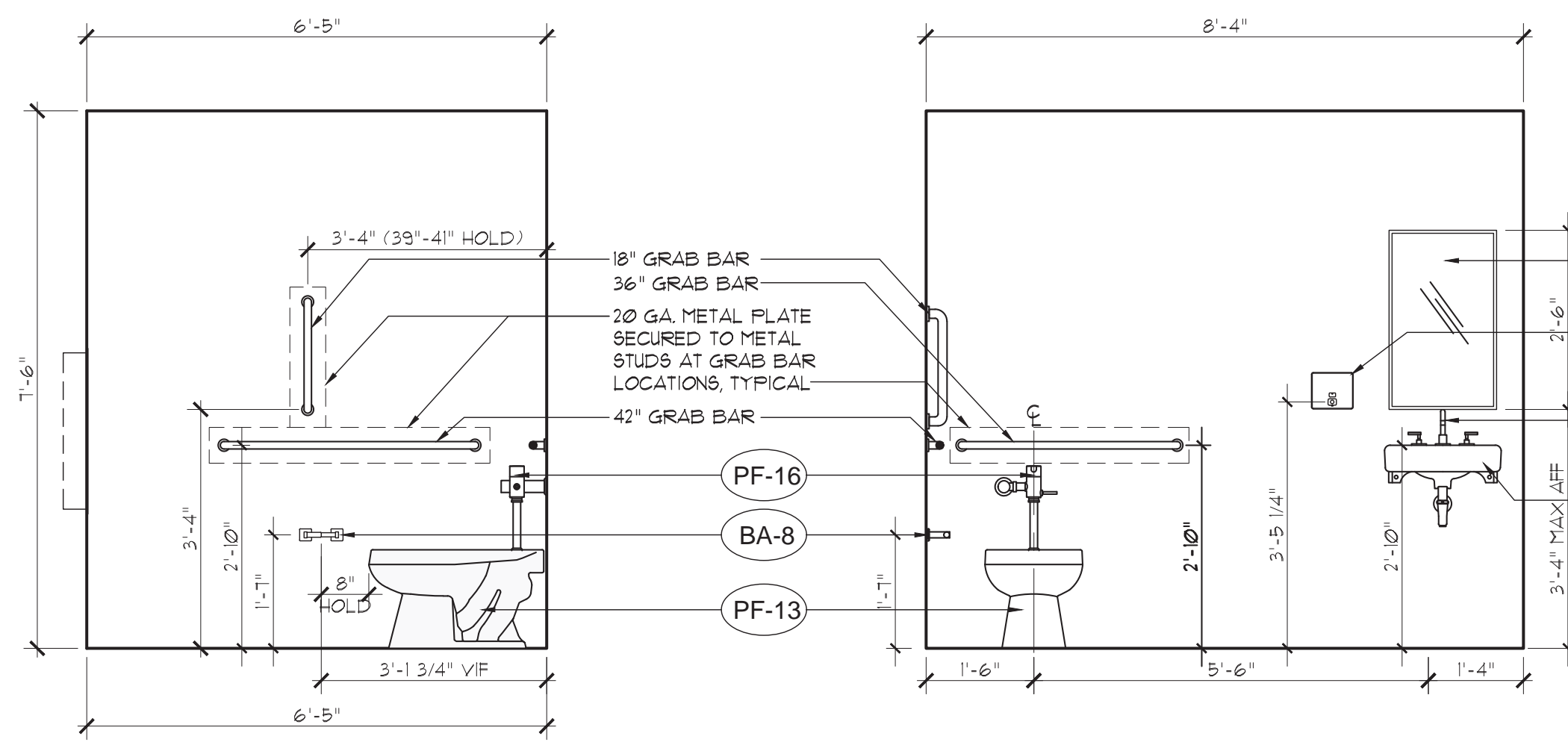
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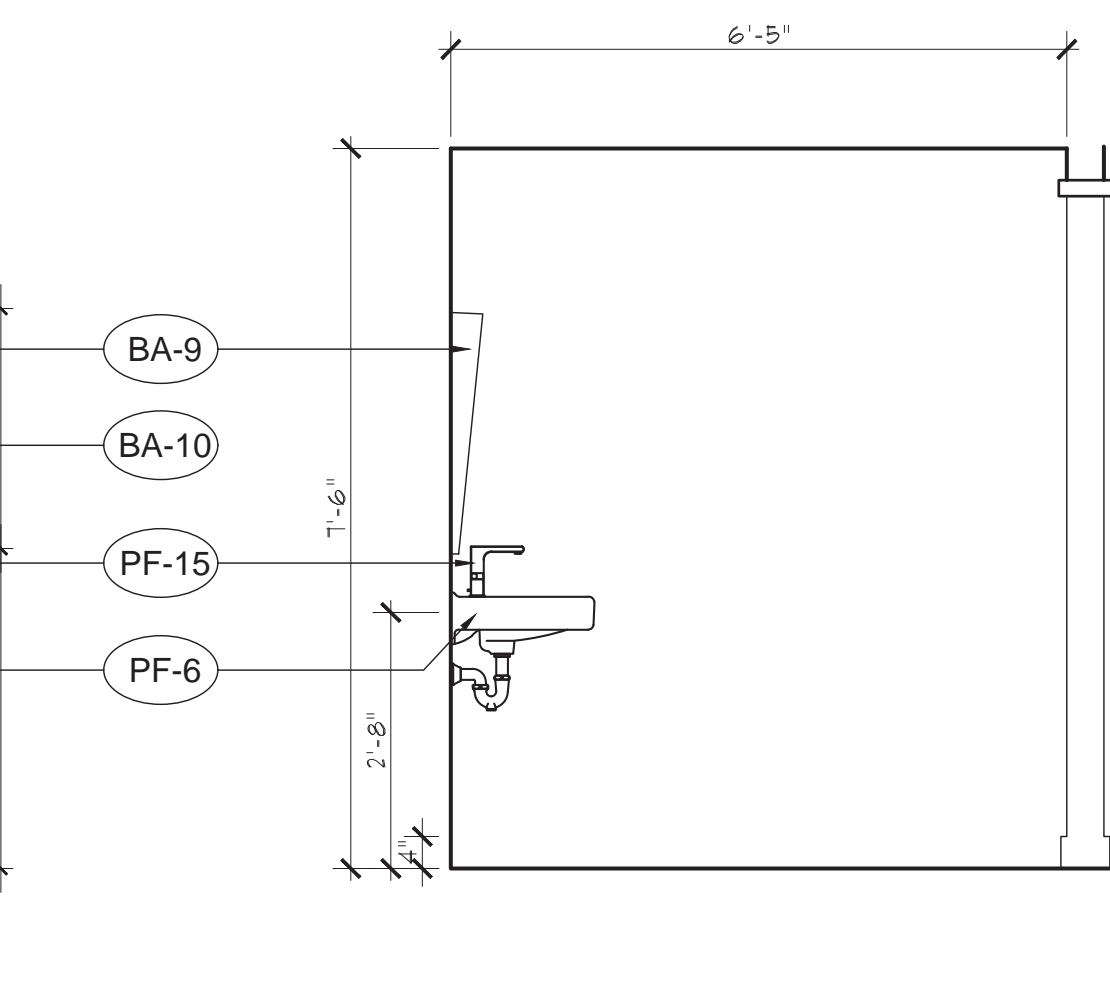
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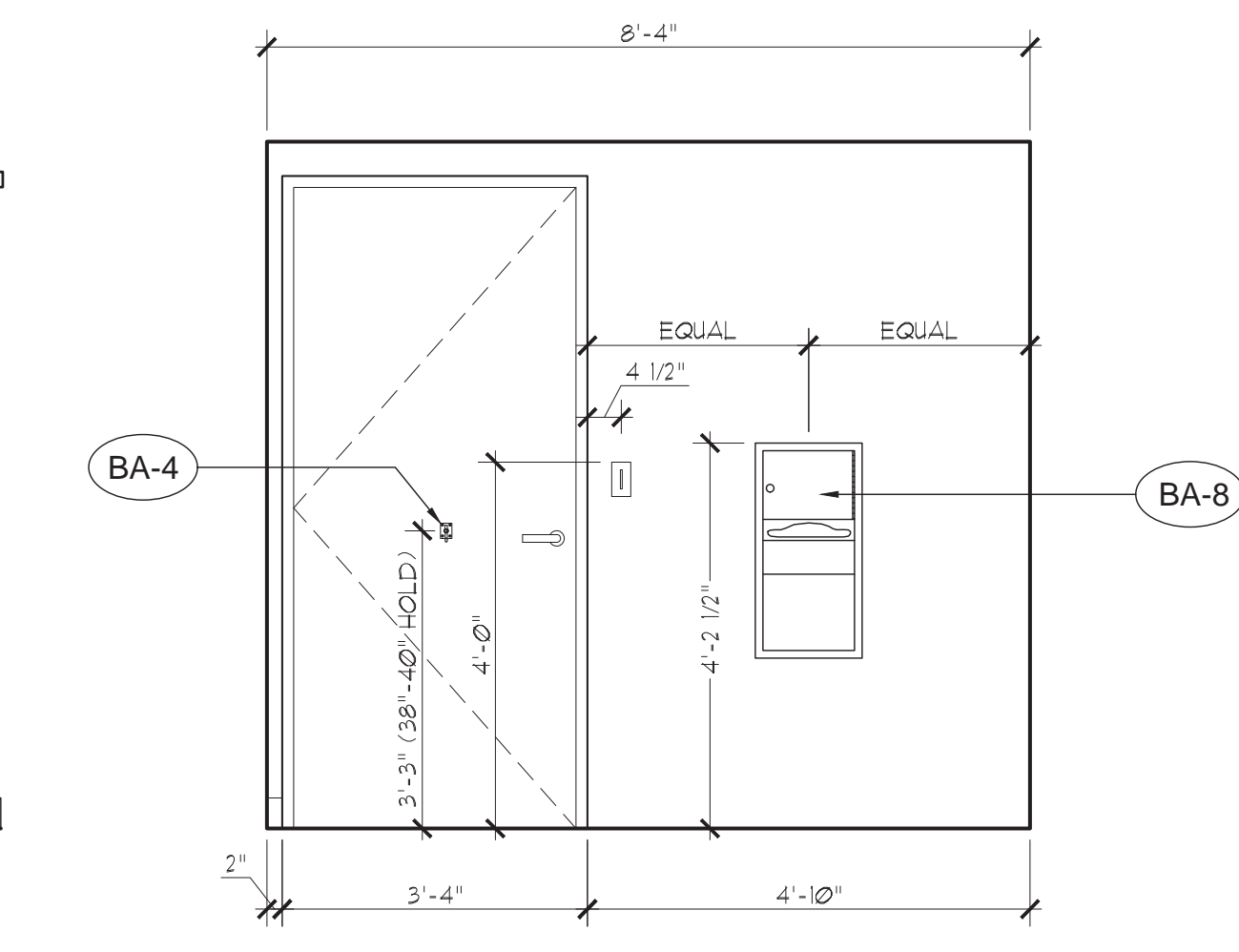
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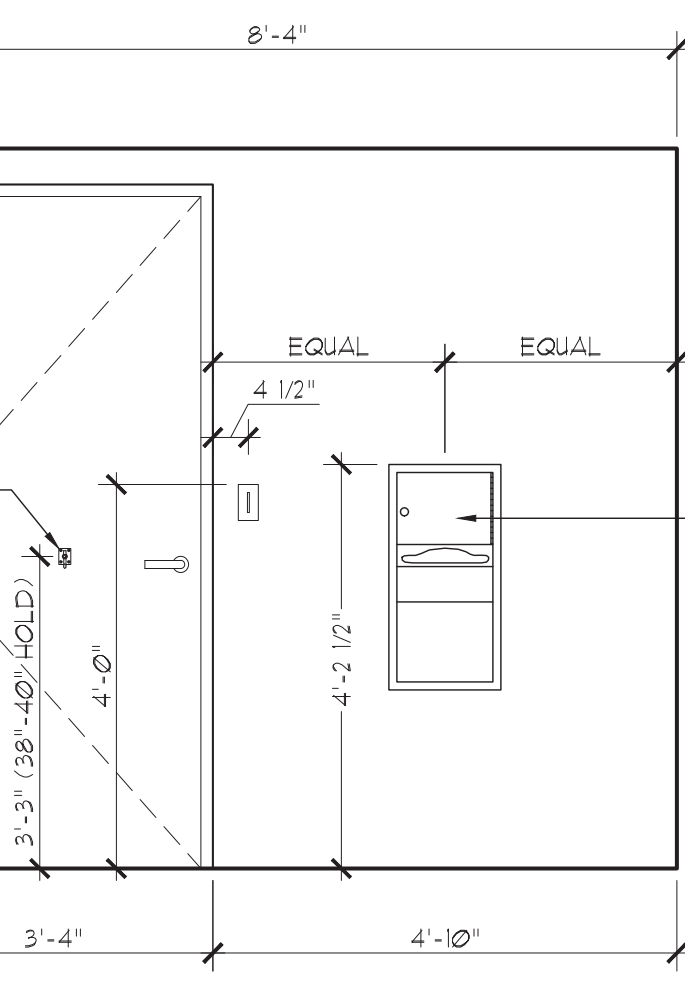
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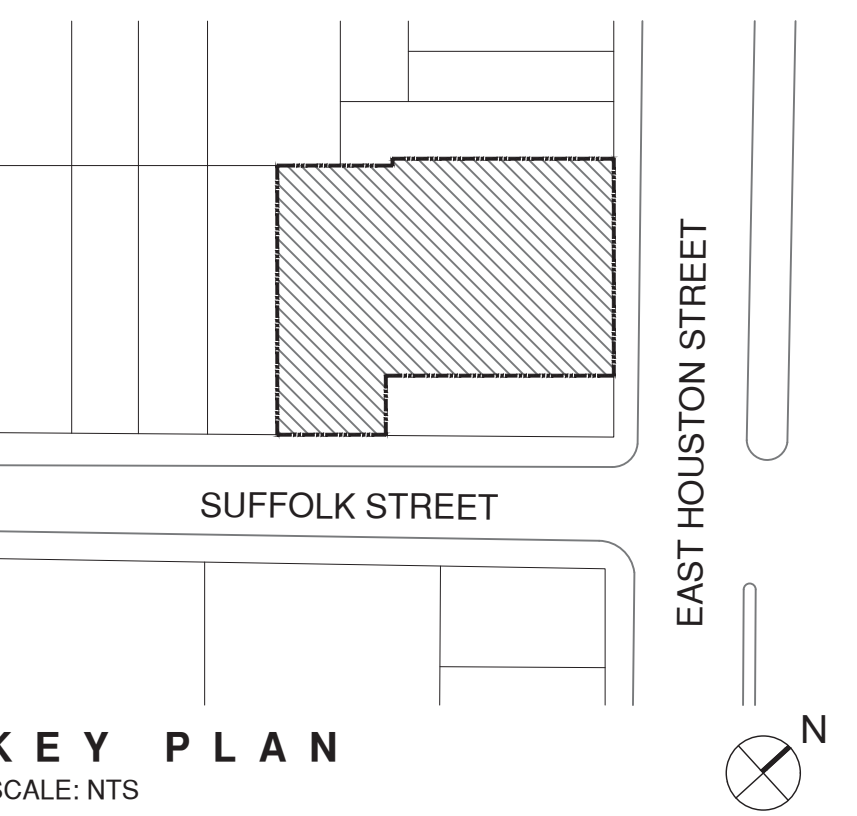
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11 **ELEVATION**
SCALE: 1/2" = 1'-0"



12 **ELEVATION**
SCALE: 1/2" = 1'-0"



KEY PLAN
SCALE: NTS

10/14/16	HPD REVISION 1
-	07/12/16 HPD FILING SET

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Drawing Title:
BATHROOM TYPES

SEAL & SIGNATURE: [Signature]
DATE: 07/12/2016
PROJECT: 1446
DRAWING SCALE: AS NOTED
DRAWING NO.: A-621.00
CDD REF: 6/146 - 4-620-01 - BATHROOM TYPES
35 OF 40

255 EAST HOUSTON ST, NEW YORK, NY 10002

SBJG PROJ. # 1446

UNIT HEIGHT DISTRIBUTION CHART A												
FLOOR	INCLUSIONARY HOUSING APARTMENT NUMBERS											TOTAL # OF IH UNITS/FLOOR
	A	B	C	D	E	F	G	H	J	K	L	
13												0
12												0
11												0
10												0
9						9F						1
8	8A											1
7	7A					7F						2
6	6A						6G			6K		3
5						5F			5J	5K		3
4	4A						4G		4J			3
3							3G		3J	3K		3
2	2A								2J			2
1												
TOTAL DU :												18

255 EAST HOUSTON ST, NEW YORK, NY 10002

SBJG PROJ. # 1446

HORIZONTAL UNIT DISTRIBUTION CHART B						
FLOOR	MARKETING FLOOR #	TOTAL # OF UNITS PER FLOOR	IH UNITS PER FLOOR	STAFF UNITS PER FLOOR	NON-IH UNITS PER FLOOR	IH %-AGE
1	1	0	0			0.00%
2	2	9	2		7	22.22%
3	3	10	3		7	30.00%
4	4	10	3		7	30.00%
5	5	10	3		7	30.00%
6	6	10	3		7	30.00%
7	7	10	2		8	20.00%
8	8	7	1		6	14.29%
9	9	6	1		5	16.67%
10	10	4	0		4	0.00%
11	11	4	0		4	0.00%
12	12	4	0		4	0.00%
13	PH	4	0		4	0.00%
TOTAL :		88	18		70	

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SBJG PROJ. # 1446

UNIT BEDROOM MIX CHART C						
IH TYPES	UNIT SUMMARY	% BREAKDOWN	NON-IH UNIT TYPES	% BREAKDOWN	SUPER/STAFF UNITS	TOTAL NO. OF UNITS
STUDIO	7	38.89%	30	42.86%		37
1 BR.	8	44.44%	31	44.29%		39
2 BR.	3	16.67%	8	11.43%		11
3 BR.	0	0.00%	1	1.43%		1
TOTAL :	18	100.00%	70		0	88

255 EAST HOUSTON ST, NEW YORK, NY 10002

SBJG PROJ. # 1446

INCLUSIONARY HOUSING NET SF CHART

FLOOR	UNIT A		UNIT B		UNIT C		UNIT D		UNIT E		UNIT F		UNIT G		UNIT H		UNIT J		UNIT K		UNIT L		ABOVE GRADE GROSS SF/FL	MECH. & STAIR DEDUCT.	Q.H. DEDUCT.	COMMUNITY FACILITY FA	TOTAL RES. ZONING FA [A]	NET MARKET UNIT FA [C]	NET UNIT SF PER FL	UNITS PER FL	LOW INCOME UNIT INFO		
	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE	NET SF	TYPE									FLOOR AREA [B]	UNIT CT/FL	UNIT % PER FL
CELLAR																																	
1																							8,638	67	1,409	4,510	2,652						
2	592	1BR	361	STU	360	STU	702	1BR	599	1BR	606	1BR			416	STU	409	STU	1,007	2BR			7,198	323	781		6,093	4,051	5,052	9	1,001	2	22.22%
3	592	1BR	361	STU	360	STU	702	1BR	599	1BR	608	1BR	404	STU	415	STU	410	STU	1,006	2BR			7,625	345	781		6,500	3,637	5,457	10	1,820	3	30.00%
4	592	1BR	361	STU	360	STU	702	1BR	599	1BR	608	1BR	404	STU	415	STU	410	STU	1,006	2BR			7,625	345	781		6,500	4,051	5,457	10	1,406	3	30.00%
5	592	1BR	361	STU	360	STU	702	1BR	599	1BR	608	1BR	404	STU	415	STU	410	STU	1,006	2BR			7,625	345	781		6,500	3,433	5,457	10	2,024	3	30.00%
6	592	1BR	361	STU	360	STU	695	1BR	599	1BR	608	1BR	404	STU	415	STU	410	STU	1,006	2BR			7,659	345	781		6,534	3,448	5,450	10	2,002	3	30.00%
7	592	1BR	361	STU	360	STU	695	1BR	599	1BR	608	1BR	404	STU	415	STU	410	STU	1,006	2BR			7,659	345	781		6,534	4,250	5,450	10	1,200	2	20.00%
8	592	1BR	361	STU	360	STU	695	1BR	599	1BR	608	1BR									1,476	3BR	6,565	281	611		5,673	4,099	4,691	7	592	1	14.29%
9	592	1BR	360	STU	360	STU	695	1BR	599	1BR	608	1BR											4,614	203	421		3,990	2,606	3,214	6	608	1	16.67%
10	633	1BR					989	2BR	872	2BR	340	STU											4,258	220	421		3,617	2,834	2,834	4	0	0	0.00%
11	612	1BR					707	1BR	841	2BR	340	STU											3,870	203	421		3,245	2,500	2,500	4	0	0	0.00%
12	612	1BR					707	1BR	841	2BR	340	STU											3,870	203	421		3,245	2,500	2,500	4	0	0	0.00%
13	612	1BR					707	1BR	841	2BR	340	STU											3,870	203	421		3,245	2,500	2,500	4	0	0	0.00%
14																							1,232	48	494		690						
TOTAL :	7,205		2,887		2,880		8,698		8,187		6,222		2,020		2,491		2,459		6,037		1,476		82,306	3,474	9,306	4,510	65,016	39,909	50,562	88	10,653	18	20.45%

UNIT MIX

FLOOR	STUDIO	1BR	2BR	3BR	TOTALS
1					
2	4	4	1		9
3	5	4	1		10
4	5	4	1		10
5	5	4	1		10
6	5	4	1		10
7	5	4	1		10
8	2	4		1	7
9	2	4			6
10	1	1	2		4
11	1	2	1		4
12	1	2	1		4
13	1	2	1		4
TOTAL:	37	39	11	1	88

PERCENTAGE: 42.05% 44.32% 12.50% 1.14% 100.00%

INCLUSIONARY HOUSING AREA CALCULATIONS	
A: measurement of "floor Area" as defined in ZR 12-10 devoted to residential	LOW INCOME HOUSING FLOOR AREA A= 65,016 B= 10,653 C= 39,909 D= 0 E= 14,454 B+ ((B/ (B+C) * (A - [B+C] - D)) 13,698
B: measurement of "Floor Area" attributed to dwelling units designated for Lower Income Housing. For each separate Lower Income Dwelling Unit: Such measurement includes square footage within the inside face of walls enclosing dwelling unit, (ie. all floor surfaces within the dwelling unit, including closets, and the partitions that separate rooms that are within same dwelling unit). Such measurement excludes (a) thickness of exterior walls (b) thickness of partitions separating such dwelling unit from other dwelling unit or spaces, and (c) portions of suchdwelling unit that does not qualify as floor area.	
C: measurement of "Floor Area" attributed to dwelling units NOT designated for Lower Income Housing. For each separate Lower Income Dwelling Unit: Such measurement includes square footage within the inside face of walls enclosing dwelling unit, (ie. all floor surfaces within the dwelling unit, including closets, and the partitions that separate rooms that are within same dwelling unit). Such measurement excludes (a) thickness of exterior walls (b) thickness of partitions separating such dwelling unit from other dwelling unit or spaces, and (c) portions of suchdwelling unit that does not qualify as floor area.	ZONING REGULATIONS, FAR BONUS ZR 23-154 FAR BONUS 1.25 SF FOR EACH SF OF LOW INCOME FA: 1.8 x 8,240 SF = 14, 832 BONUS FA 14,832 / 1.25 = 11,866 (MIN REQ. LOW INCOME SF) PROVIDED: 13,698 S.F.
D: measurement of "Floor Area" attributed to common areas in the building for which a fee IS charged for their use.	
E: measurement of "Floor Area" attributed to common areas in the building for which NO fee is charged for their use. Calculated as follows: A - B - C - D = E	